

Part IV  
**Article XXXVIII**  
**DESIGN STANDARDS FOR LARGE RETAIL ESTABLISHMENTS**

**Section 3800 PURPOSE**

The intent of this ordinance is to provide regulations for the development of large retail stores and centers that are consistent with the standards of the Valparaiso community. The City of Valparaiso (“Valparaiso”) has seen an increase in the development of large retail stores and centers, especially on the east side of Valparaiso. It is anticipated that this trend will continue. Valparaiso believes it to be very important that these future developments have guidance to fit within Valparaiso’s standards.

Large-scale retail stores (such as discount stores, home improvement warehouses, etc.) are commonly referred to as ‘Big Box’ stores. These stores typically look as they sound, a large box-like structure with large areas for parking. Developments of several of these types of stores are known as Power Centers. Another recent trend in retail development has been the introduction of the lifestyle center, which seeks to combine retail with higher levels of aesthetics and pedestrian access. These large retail establishments demand high visibility locations thereby determining the character and attractiveness of Valparaiso’s commercial corridors.

Many communities across the country have adopted similar types of ordinances to provide reasonable design standards that address the health, safety and welfare of its citizens while balancing the legitimate development and commercial needs of property owners.

The standards set forth in this ordinance are designed to establish some basic design standards, architectural variety, and compatible scale, pedestrian and bike access, and mitigation of negative impacts. The goal of this ordinance is to encourage development that contributes to Valparaiso by reflecting its physical character.

**Section 3810 ADMINISTRATION**

The following standards are intended to be used as a design aid by developers proposing large retail developments and as an evaluation tool by the staff of the Planning Department in their review processes. These guidelines and standards shall apply to all projects collectively or individually, which are processed according to the criteria for proposed development plans and to all projects for retail establishments with footprints in excess of 15,000 square feet. The standards in this Article shall supercede underlying zoning requirements where applicable. Where any conflict between the provisions in this Article and other articles of the Valparaiso Zoning Ordinances exist, the provisions of this section shall prevail.

Development plans will be reviewed by the Plan Commission staff prior to site review for compliance with this ordinance. If all standards are met, staff may approve the development plan. In the event that the development plan or design deviates from this ordinance, the Board of Zoning Appeals shall review and, if appropriate, approve deviations. Staff may at its discretion require the Plan Commission to review and approve all development proposals by this ordinance.

These Standards and guidelines will be used to help inform developers of the requirements of the project and make sure that all requirements are met. Standards are mandatory for projects which qualify under the terms of this article. Guidelines are not made mandatory,

**but are used to inform the planners, design consultants, developers and City staff about overall design objectives.**

### **Section 3820 Definitions**

- Arcade – an area contiguous to a street or plaza that is open and unobstructed, and that is accessible to the public at all times. Arcades may include building columns, landscaping, statuary and fountains. Arcades do not include off-street loading/unloading areas, driveways or parking areas.
- Articulate – to give emphasis to or distinctly identify a particular element. An articulated façade would be the emphasis of elements on the face of a wall including a change in setback, materials, roof pitch or height.
- Berm – an earthen mound designed to provide visual interest on a site, screen undesirable views, reduce noise or provide a buffer from adjoining uses.
- Breezeway – a structure for the principal purpose of connecting a main building or structure on a property with other buildings.
- Buffer – see also “screen”. An area provided to reduce the conflict between two different land uses. Buffers are intended to mitigate undesired views, noise and glare - effectively providing greater privacy to neighboring land uses. Typical buffers consist of materials that serve this purpose and include, but are not limited to, plant materials, walls, fences and/or significant land area to separate the uses.
- Buffer Strip – a portion of a lot or property used to visually separate one use from another through the use of vegetation, distance or other approved method.
- Building Face, Front – any building face, which can be touched by a line drawn perpendicular to street (public or private).
- Building Face, Public – any building side that is visible from public or private right-of-ways and/or the faces that contain public entry.
- Building Mass – the building’s expanse or bulk and is typically used in reference to structures of considerable size.
- Design Guidelines – statements and graphics intended to direct the planning and development of the built environment in a particular manner or style so that the end result contributes positively to the overall development.
- Dormer – a window set vertically in a gable projecting from a sloping roof.
- Facade – the portion of any exterior elevation on the building extending from grade to the top of the parapet, wall or eaves and extending the entire length of the building.
- Front Yard – the portion of the front yard extending the full width of the lot and measured between the front lot line and a parallel line across the front of the building. Corner and double lots shall adhere to the front yard setback(s) for each frontage.
- Gable – a triangular wall section at the end of a pitched roof, bounded by the two roof slopes.
- Hip Roof – roof without gables.
- Parapet – the portion of a wall that extends above the roofline.
- Pedestrian Oriented Development – development designed with an emphasis primarily on the street sidewalk and on pedestrian access to the site and buildings/structures rather than on auto access. The buildings/structures are generally located close to the public or private right-of-way and the main entrance(s) is oriented to the street sidewalk. There are

generally windows or display cases along building facades. Although parking is provided, it is generally limited in size and location.

- Pedestrian Walkway – a surfaced walkway, separate from the traveled portion of a public or private right-of-way or parking lot/driving aisle.
- Portico – a porch or walkway with a roof supported by columns, often leading to the entrance to a building.
- Public/Private Right of Way – any public or private road, access easement intended to provide public access to any lot/development, but excluding any service road or internal driving aisles (i.e., within parking lots).
- Screen – see also “buffer”. The sole purpose of a screen is to block views. A screen should be constructed of opaque materials and whose height will be effective in obstructing unwanted views.
- Setback – a prescribed distance or an area between one element and another (i.e., a building and the road right-of-way). Within these guidelines, the term also refers to:
  - The minimum distance and the area measured from the property line to the interior of a parcel where buildings may be constructed.
  - The required distance and the area between the edge of the parking lot pavement/curb and the property line or buildings/structures.
  - Placing a building face on a line to the rear of another building line.
- Streetscape – all elements of a development or area that are in view from other points along a street.

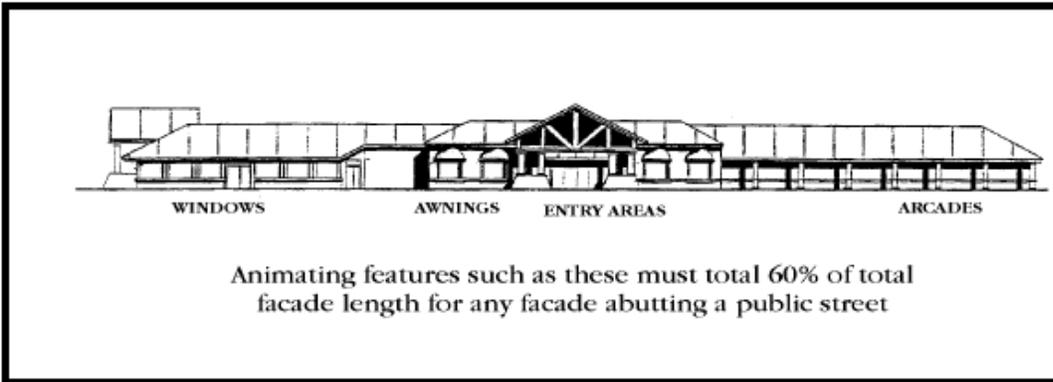
## **Section 3830 DESIGN STANDARDS – AESTHETIC CHARACTER**

### **A. Facades and Exterior Walls**

**Guideline:** Facades should be articulated to reduce the massive scale and the uniform, impersonal appearances of large retail buildings and provide visual interest that will be consistent with the community’s identity character, and scale. The intent is to encourage a more human scale that residents of Valparaiso will be able to identify with their community. The resulting scale will ensure a greater likelihood of reuse of structure by subsequent tenants.

#### **Standards:**

1. Developments with a facade over 100 feet in linear distance or length shall incorporate wall projections or recesses minimum of three (3) feet in depth and a minimum of twenty (20) continuous feet within each 100 feet of facade length and shall extend over twenty (20) percent of the facade. Developments shall use animating features such as arcades, display windows, entry areas, towers, or awnings along at least forty (40) percent of the facade. Entryways to major anchors shall project not less than five (5) feet. This shall be represented by a change in the wall of the building and not only in a covered entry.
2. All exterior building elevations that face public streets, customer parking areas or areas of residential use shall be designed so that there are no large expanses of blank walls. This requirement can be met by employing the use of architectural features including but not limited to: doors, windows, pilasters, columns, horizontal and vertical offsets, material and color variations, decorative cornices, projecting awnings, arcades, entry areas, canopies, murals, towers and graphics.



(Drawing courtesy of Fort Collins, Colorado)

## B. Smaller Retail Stores

**Guideline:** The presence of smaller retail stores gives a center a “friendlier” appearance by creating variety, breaking up large expanses, and expanding the range of the site’s activities. Windows and window displays of such stores should be used to contribute to the visual interest of exterior facades. The standards presented in this section are directed toward those situations where additional, smaller stores, with separate, exterior customer entrances are located in the principal buildings or development site.

**Standards:** Where principal buildings contain additional, separately owned stores, which occupy less than (25,000) square feet of gross floor area, with separate, exterior customer entrances:

1. The street level facade of such stores shall be transparent between the height of three feet and eight feet above the walkway grade for no less than sixty percent of the horizontal length of the building facade of such additional stores.
2. Windows shall be recessed and should include visually prominent sills, heads, or other such forms of framing.

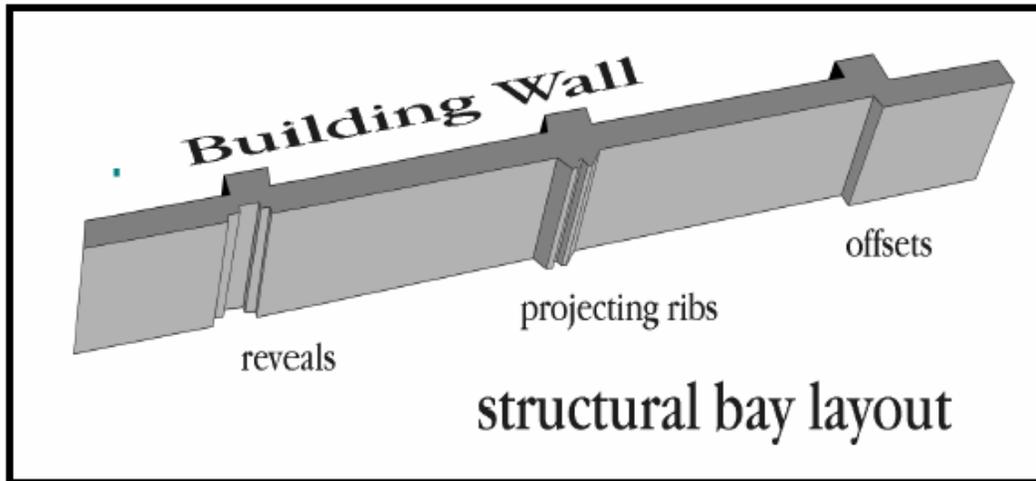
## C. Detail Features

**Guideline:** Buildings should have architectural features and patterns that provide visual interests, at the scale of the pedestrian, reduce massive aesthetic effects, and recognize local character. The elements in the following standard should be integral parts of the building fabric, and not superficially applied trim or graphics, or paint.

**Standard:** Building facades shall include a repeating pattern that shall include no less than three of the elements listed below. At least one of these elements shall repeat horizontally. All elements shall repeat at intervals of no more than thirty (30) feet, either horizontally or twenty (20) feet vertically.

- Color change
- Texture change

- Material module change
- Expression of architectural or structural bay through a change in plane no less than twelve (12) inches in width, such as an offset, reveal, or projecting rib.



Expression of Architectural or Structural Bay.

(Drawing courtesy of Fort Collins, Colorado)

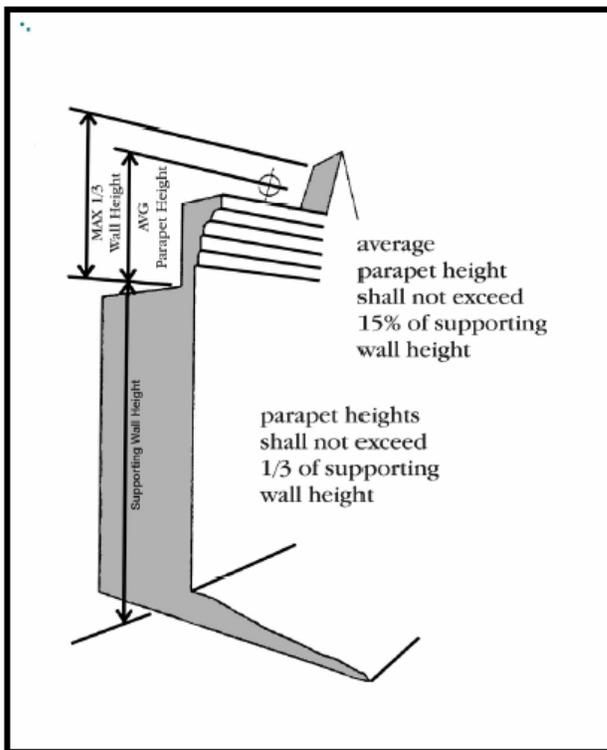
#### D. Roofs

**Guideline:** Variations in rooflines should be used to add interest to, and reduce the massive scale of large buildings. Roof features should compliment the character of adjoining neighborhoods.

#### Standards:

1. At least one roof change of three (3) feet above the predominant roofline. Roof lines shall be varied with change in height every 100 linear in the building length or forty 40% of the building length, which ever is less.
2. All exterior building elevations that face public streets, customer parking areas, or areas of residential use shall be designed so that there are no large expanses of blank walls. This requirement can be met by employing the use of architectural features including but not limited to: doors, windows, pilasters, columns, horizontal and vertical offsets, material and color variations, decorative cornices, projecting awnings, arcades, entry areas, canopies, murals, towers, and graphics.
3. Parapets shall conceal flat roofs and rooftop equipment such as HVAC units from public view. The average height of such parapets shall not exceed 15% of the height of the supporting wall and such parapets shall not at any point exceed one-third of the height of the supporting wall. Such parapets shall feature three dimensional cornice treatments of not less than twelve inches in height, and shall incorporate no less than three reliefs. In addition to parapets, gable roofs, hip roofs, or dormers may be used to conceal flat roofs and roof top equipment. In the event that parapets are used as an architectural element, they shall be provided on all sides of the building in order to avoid the appearance of false facades from the back or sides of large retail establishment buildings.

4. All roof-mounted equipment shall be architecturally screened by materials and colors consistent with the design of the building.
5. Roofs shall exhibit one of the following features:
  - a. Overhanging eaves extending no less than 3 feet past the supporting walls
  - b. Sloping roofs that do not exceed the average height of the supporting walls, with an average slope greater than or equal to 1 foot of vertical rise for every 3 feet of horizontal run and less than or equal to 1 foot of vertical rise for every 1 foot of horizontal run.
  - c. Multiple roof slope planes.
  - d. Raised cornice parapets or towers above all major entries and all anchor store entries. If no anchor exists at least two locations exhibiting the above standards, clock or bell towers or similar features dormers, belvederes, cupolas, etc.



Parapet Standards.

(Drawing courtesy of Fort Collins, Colorado)

## E. Materials and Colors

**Guideline:** Exterior building materials and colors comprise a significant part of the visual impact of a building. Therefore, they should be aesthetically pleasing and compatible with materials and colors used in adjoining neighborhoods.

### Standards:

1. Predominant exterior building materials shall be high quality materials. These include, without limitation:
  - a. Brick
  - b. Limestone
  - c. Other native stone
  - d. Textured colored aggregate concrete masonry units
2. Primary predominant facade colors shall be low reflectance, subtle, neutral, or earth tone colors. The use of high intensity colors, metallic colors, black or fluorescent colors is prohibited as a predominant building color.
3. Building trim and accent areas may feature brighter colors, including primary colors, but neon tubing shall not be an acceptable feature for building trim or accent areas.
4. The use of the following as predominant exterior building materials shall be prohibited:
  - Pre-fabricated metal wall panels
  - Smooth-faced concrete block
  - Vinyl, composite or metal siding
  - Wood
5. The above standards shall apply to all primary facades – those visible from a right-of-way or a customer parking lot

## **F. Building Entryways**

**Guideline:** Entryway design elements and variations should give orientation and aesthetically pleasing character to the building. The standards identify desirable entryway design features.

**Standard:** Each principal building on a site shall have clearly defined, highly visible customer entrances featuring no less than three (3) of the following:

- canopies or porticos
- overhangs
- recesses/projections
- arcades
- raised corniced parapets over the door
- peaked roof forms
- arches
- architectural details such as tile work and moldings which are integrated into the building structure and design
- Integral planters or wing walls that incorporate landscaped areas and/or places for sitting

**Where additional stores will be located in the principal building, each such store shall have at least one exterior customer entrance, which shall conform to the above requirements.**

**Section 3840: SITE DESIGN AND RELATIONSHIP TO THE SURROUNDING  
COMMUNITY**

**A. Access Requirements**

**Guideline:** Vehicular access shall be such that traffic congestion is minimized and safety is maximized. Care shall be exercised to meet existing and projected through traffic needs as well as those required to serve the large retail establishment. Consideration shall also be given to the needs of public and/or on demand transportation services by providing pick-up and drop-off locations.

Adequate provisions shall also be made to accommodate bicycle and pedestrian traffic to, through and from the large retail establishment. The City's "Pathways & Greenways Master Plan 2005" should be consulted for guidance.

Site and off-site improvements necessary to provide the proper access shall be the responsibility of the developer.

**Standards:**

1. Study: At the discretion of the Engineering Director or the Planning Director, the developer shall provide a traffic impact analysis/study prepared under the direction of a professional engineer, licensed in the State of Indiana. Said engineer, or his staff, shall be trained and experienced with traffic engineering analysis and design, and, upon request, shall provide documentation of that training and experience.

The study shall address existing and projected traffic volumes, movements and needs for both the through traffic on the roads and the traffic projected to use the LARGE RETAIL ESTABLISHMENT. The study shall summarize findings with specific recommendations for all improvements necessary.

The City may choose to employ an independent consultant to review and comment on the study and recommendations.

2. Vehicular Access Locations: Primary vehicular access locations shall only be on Arterial Streets as designated in Part II, Article X, Streets and Thoroughfares, in the Zoning Ordinance, said Section hereafter called the "Thoroughfare Plan". Secondary access locations may be from Collector Streets with the approval of the Planning Commission. Access points to local streets shall only be permitted with the approval of the Planning Commission and the Board of Works, and only after adequate provisions are made so that the commercial traffic cannot use the street as a short cut through existing residential developments.

Access locations shall be adequately removed from existing and proposed drives and intersections so that conflicting traffic movements are not increased and/or do not occur.

3. Access Geometrics: All proposed improvements for vehicular access shall conform to the provisions of "A Policy on Geometric Design of Highways and Streets" (known as the Green Book), as published by the American Association of State Highway and Transportation Officials (AASHTO).
4. Traffic Signals: Where warranted by the study, traffic signals meeting the standards of the City, shall be constructed/installed at access points and intersections that receive the traffic generated by the LARGE RETAIL ESTABLISHMENT.

The developer shall execute a traffic signal agreement with the City for any access points or intersections where the study indicates that signal warrants are not met, but may be met at some time in the future. The agreement shall be recordable, shall run with the land, and be binding on all of the developer's successors and/or assigns, and provide for payment for traffic signals at those locations if and when they are warranted.

5. Rights-of-Way: Where access improvements on or adjacent to public rights-of-way exceed the existing or proposed Thoroughfare Plan right-of-way widths, the additional right-of-way necessary shall be dedicated to the City prior to the issuance of permits.
6. Transit: In order to accommodate the City's transit and/or on-call transportation system, loading and drop-off points shall be provided in the site at a location(s) appropriate to accommodate the pedestrian riders, such as a bench with a covering or canopy. Locations shall be such that other vehicular traffic is not blocked and/or the safety of the passengers is not compromised as they enter or leave the transit vehicle. Bike racks shall be installed in convenient locations, and shall consist of non-corrosive materials.
7. Bicycle and Pedestrian: Improvements on and/or off-site shall be made to accommodate both bicyclists and pedestrians. Hard surface paths/walks, separate from the vehicular access, shall be provided so that customers of the LARGE RETAIL ESTABLISHMENT can have access without having to use vehicular transportation. In general, paths/walks shall be constructed through landscaped areas on the site.

Where the paths/walks cross-vehicular accesses, every attempt shall be made that the crossing is at a signalized location. In any event, every such crossing point shall be "pedestrian friendly", and shall utilize pedestrian timings on signals, refuge islands, and shall be properly marked and signed.

8. General: The Traffic and Safety Committee shall review the study and all plans for site and off-site vehicular, bicycle and pedestrian access and shall forward comments to the Planning Commission and/or Board of Works, as appropriate.

## **B. Entrances**

**Guideline:** Large retail buildings should feature multiple entrances. Multiple building entrances reduce walking distances from cars, facilitate pedestrian and bicycle access from public sidewalks, and provide convenience where certain entrances offer access to individual stores, or identified departments in a store. Multiple entrances also mitigate the effect of the unbroken walls and neglected areas that often characterize building facades that face bordering land uses.

**Standard:**

1. At least two (2) sides of a large retail establishment shall feature customer entrances. The two (2) required sides shall be those planned to have the highest level of public pedestrian activity, and one (1) of the sides shall be that which most directly faces a street with pedestrian access. The other of the two (2) sides may face a second street with pedestrian access, and/or a main parking lot area. All entrances shall be architecturally prominent and clearly visible from the abutting public street. Movie theaters are exempt from this requirement.

2. Large retail centers shall face public streets. Commercial facilities consisting of an individual building on one street shall not be placed perpendicular to the entry-facing street.
3. Not all buildings must face major roadways in multiple building commercial sites. At least twenty 20% of all buildings within a retail center with more than (5) five buildings shall be located on the perimeter of the center.
4. Where buildings face inward toward large retail center complexes, the walls facing public streets shall exhibit architectural features similar to those on the primary entrances of the building, but shall not mimic the entrance features, or give the impression of false entrances.
5. In the event that it is impossible to achieve two (2) entrances to a large retail establishment, the building may contain at least one (1) of the two (2) required entrances to lead into a smaller retail establishment (such as a branch bank, travel agency, beauty salon, etc.) on the building's perimeter. In this situation at least one (1) entrance must be provided for the large retail establishment.

### **C. Parking Lot Orientation**

**Guideline:** Parking areas should provide safe, convenient, and efficient access for vehicles and pedestrians. They should be distributed around large buildings in order to shorten the distance to other buildings and public sidewalks and to reduce the overall scale of the paved surface. If buildings are located closer to streets, the scale of the complex is reduced, pedestrian traffic is encouraged, and architectural details take on added importance.

**Standard:** No more than seventy-five (75) percent of the off-street parking area for the lot, tract or area of land devoted to the large retail establishment shall be located between the front façade of the large retail establishment and the abutting streets.

Access to out lots from public streets shall be prohibited. Access to out lots shall be from entry drives or interior site circulation.

### **D. Outdoor Storage, Trash Collection, and Loading Areas**

**Guideline:** Loading areas and outdoor storage areas exert visual and noise impacts on surrounding neighborhoods. These areas, when visible from adjoining properties and/or public streets, shall be screened, recessed or enclosed. While screens and recesses can effectively mitigate these impacts, the selection of inappropriate screening materials can exacerbate the problem. Appropriate locations for loading and outdoor storage areas include areas between buildings, where more than one building is located on a site and such buildings are not more than 40 feet apart, or on those sides of buildings that do not have customer entrances.

#### **Standards:**

1. Areas for outdoor storage, truck parking, trash collection or compaction, loading, or other such uses shall not be visible from public or private rights-of-way and shall be enclosed on all sides by an enclosure of comparable materials to that of the primary structure or surrounded by earth berm with landscape plantings of not less than six (6) feet in height as described in the landscape section. No areas for outdoor storage, trash collection or compaction, loading, exterior grade mounted equipment or other such uses shall be located within twenty (20) feet of any public or

private street, public sidewalk, or internal pedestrian way. Dumpsters, service or equipment areas must be completely enclosed within an opaque enclosure consisting of materials architecturally compatible with the primary structure. All enclosures must include a gate, consisting of similar design and opaque materials such as solid wood or vinyl. Chain link, slats, and gates with similar materials shall be prohibited. Roof top equipment shall be enclosed with an opaque design similar to the primary building.

2. Loading docks, truck parking, outdoor storage, utility meters, HVAC equipment, trash dumpsters, trash compaction, and other service functions shall be incorporated into the overall design of the building and the landscaping plan so that the visual and acoustic impacts of these functions are fully contained and out of view from adjacent properties and public streets, and no attention is attracted to the functions by the use of screening materials that are different from or inferior to the principal materials of the building and landscape.
3. Non-enclosed areas for the storage and sale of seasonal inventory including vehicles and trailers for rent shall be permanently defined and screened with decorative walls and/or fences, such as wrought iron. Chain link fence shall be prohibited on facades facing customer parking areas or public right of ways. Materials, colors, and designs of screening walls and/or fences and cover shall conform to those used as predominant materials and colors of the building. If such areas are to be covered, then the covering shall conform to those used as predominant materials and colors on the buildings.
4. Temporary sales/displays, such as Christmas trees, landscape materials, and fireworks, shall be permitted for up to four (4) months each year and may not be located along a public street or sidewalk. Location and time/duration of such sales/displays shall be reviewed and approved by the Planning Director or appointed designee. Businesses wishing to have temporary sales/displays must reapply annually.

## **E. Pedestrian Flows**

**Guideline:** Pedestrian accessibility opens auto-oriented developments to the neighborhood, thereby reducing traffic impacts and enabling the development to project a friendlier, more inviting image. This section sets forth standards for public sidewalks and internal pedestrian circulation systems that can provide user-friendly pedestrian access as well as pedestrian safety, shelter, and convenience within the center grounds.

### **Standards:**

1. Sidewalks at least (5) five feet in width shall be provided along all sides of the lot that abut a public or private right-of-way. In cases where pedestrian facilities are noted on the City of Valparaiso pathways and alternative transportation master plan, such standards shall apply. Sidewalks or pathways may need to be extended offsite to connect with existing facilities.
2. Continuous internal pedestrian walkways, of not less than five (5) feet in width, shall be provided from the public sidewalk or right-of-way to the principal customer entrance of all principal buildings on the site. At a minimum, walkways shall connect focal points of pedestrian activity such as, but not limited to, transit stops, street crossings, building and store entry points, and shall feature adjoining landscaped areas that include trees, shrubs,

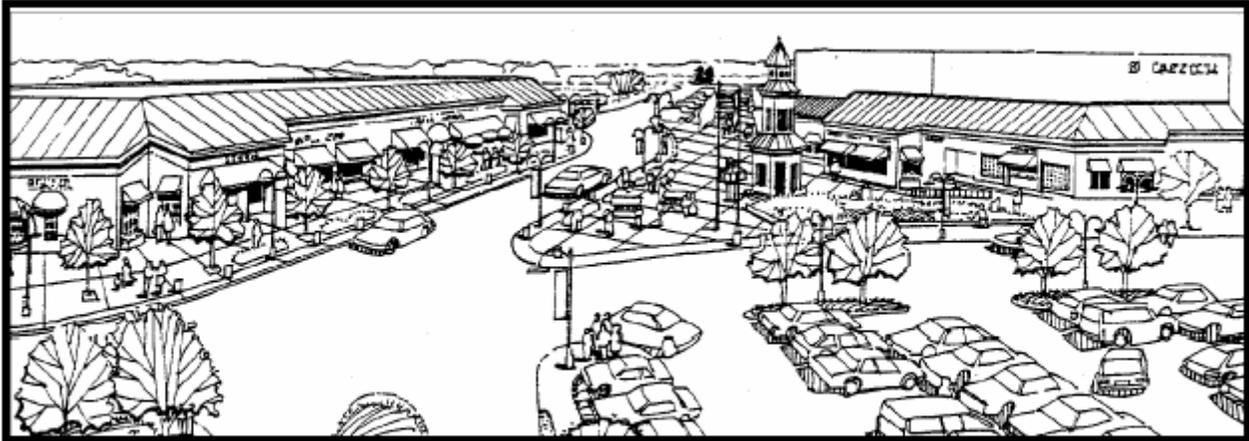
benches, flower beds, ground covers, or other such materials for no less than fifty (50) percent of their length.

3. Sidewalks, no less than five (5) feet in width, shall be provided along the full length of the building along any facade featuring a customer entrance, and along any facade abutting public parking areas. Such sidewalks shall be located at least six (6) feet from the facade of the building to provide planting beds for foundation landscaping, except where features such as arcades or entryways are part of the facade.
4. All internal pedestrian walkways shall be distinguished from driving surfaces through the use of durable, low maintenance surface materials such as pavers, bricks, or scored concrete to enhance pedestrian safety and comfort, as well as the attractiveness of the walkways. Signs shall be installed to designate pedestrian walkways.

## **F. Central Features and Community Spaces**

**Guideline:** Buildings should offer attractive and inviting pedestrian scale features, spaces and amenities. Entrances and parking lots should be configured to be functional and inviting with walkways conveniently tied to logical destinations. Bus stops and drop-off/pick-up points should be considered as integral parts of the configuration. Valparaiso is currently developing a public transit system that is anticipated to come on line in the later half of 2005. Pedestrian ways should be anchored by special design features such as towers, arcades, porticos, pedestrian light fixtures, bollards, planter walls, and other architectural elements that define circulation ways and outdoor spaces. The features and spaces should enhance the building and the center as integral parts of the community fabric.

**Standard:** Each retail center consisting of multiple buildings shall contribute to the establishment or enhancement of community and public spaces by providing at least two of the following: patio/seating area, pedestrian plaza with benches, transportation center, window shopping walkways, outdoor play area, kiosk area, water feature, clock tower, steeple, or other such deliberately shaped area and/or a focal feature or amenity that, in the judgment of the Plan Commission, adequately enhances such community and public spaces. Any such areas shall have direct access to the public sidewalk network and such features shall not be constructed of materials that are inferior to the principal materials of the building and landscape. This area shall be adequately linked to the internal pedestrian link way.



Example of a center with numerous special features and community spaces.

(Drawing courtesy of Fort Collins, Colorado)

## G. Signage

**Guideline:** Signs should be consistent within a development. It is important that the site not be littered with individual signs for each tenant. Most retail centers and stand-alone large retail stores will be along arterial roads and at gateway intersections. Signage should not be distracting to passers by.

**Standard:** Large retail centers consisting of multiple buildings (3 or more) subject to these guidelines may have one multi-tenant monument type ground sign not taller than fifteen (15) feet per frontage. The multi-tenant sign(s) shall provide space for all major tenants of the center and are subject to Section 909 of the *Sign Ordinance*. Stand-alone retail stores (not in a retail center) are limited to a monument type ground sign at a maximum height of six (6) feet. A masonry base is preferred for these signs. Off premise signage (billboards, portable signs, ect.) shall be prohibited. Outlot signage shall be limited to six (6) foot tall monument style signage and be centered on the outlot property.

## H. Landscaping

**Guideline:** Landscaping should be used along public streets and right of way to soften the look of large retail developments and stand-alone stores. Landscaping that is attractive will provide a break in the development of large retail buildings and screening for parking lots along heavily traveled retail corridors.

### Standards:

#### 1. LANDSCAPE PLAN

A landscape plan at a scale of not greater than 1:50 scale shall be prepared by a landscape architect registered licensed and registered with the State of Indiana. Landscape plans shall denote planting locations, numbers, and both common and scientific names for all planting

materials. Contact information for the landscape architect shall be provided as well as that of the property owner.

## 2. PARKING LOT PERIMETER LANDSCAPING

- a. All parking lot perimeter areas shall be planted with at least one deciduous tree 2 ½" caliper diameter upon planting per 40 linear feet of landscape planting area.
- b. Outlots shall be surrounded with perimeter landscaping to separate them from the remaining primary lot development subject to the above standard. Outlots shall provide for landscaping areas or planting strips to physically separate them from the larger development except where entry/access points are necessary.

## 3. INTERIOR PARKING LOT LANDSCAPING

- a. A minimum of 15% of the parking area shall be dedicated to the interior parking lot landscaping consisting of planting islands, peninsulas, ribbons, or corner areas and entranceways. Sidewalks may be placed in the islands to connect with other sidewalks in the development but shall not count toward the interior landscaping requirement. Parking area is determined by drawing a square or similar shape around the outside edges of the parking area surface. Plant material shall be installed so as to maintain clear sight lines and avoid contact with vehicles for an area between three and eight feet in height. Outlots shall be subject to the same interior parking lot planting standard.
- b. For parking lots with central entry drives of 300 spaces or more, landscaping shall be provided on both sides of the main entryway to the property using trees with at least a 3" caliper diameter upon planting every fifty (50) feet along the length of driveways. This area shall not count toward the required 15% interior parking lot landscaping standard.
- c. For parking areas with multiple parking bays with at least 300 spaces, an island or peninsula that is a minimum of six (6) feet in width shall be installed for each ten (10) spaces in the parking bay. Ribbons of landscaping at least 6 feet in width extending the length of the parking bay with a least one break for passage of cross traffic shall be permitted in lieu of separate landscaping islands. There shall be one deciduous tree of at least 2 ½ inches in caliper diameter upon planting for every 180 square feet of landscaping area.

## 4. LANDSCAPING BETWEEN SITES

Landscaping strips at least ten (10) feet in width shall be provided between all stand-alone retail establishments or retail centers subject to a planting standard of one tree of at least two and one half inches (2 ½") in caliper diameter upon planting per forty (40) linear feet of landscape strip. When a strip a large retail establishment already exists on an adjacent parcel, the developer shall provide a grass area or landscape material equal to the difference between that provided and the ten feet required on the subject property.

## 5. LANDSCAPING ALONG BUILDINGS

- a. A landscape strip of no less than six (6) feet in width shall be installed for a distance of at least 20% of the building length for a single building tenant. One tree shall be planted for each 180 square feet of landscape area. Shrubs or other woody plants shall occupy 50% of the length of this landscaping strip. The use of planting areas or planters of at least 150 square feet each on both sides of any primary customer entrance/exit and points at or near the corners of the building may be permitted in lieu of the above requirement.
- b. For multiple tenant buildings, planters or planting areas as described above shall be provided at the entrance to all major tenant stores. If major tenants do not exist, at least 20% of the entrances to tenant spaces shall comply with this requirement.

## 6. LANDSCAPING ADJACENT TO RIGHTS OF WAY

For a multi-building commercial center, a thirty (30) foot landscape buffer is required along all public streets and areas adjacent to residential uses. This buffer should be a mix of landscaping, deciduous trees, and evergreens, of which twenty (20) percent must be trees. These areas shall be planted at a rate of one tree at least two and one-half inches (2 ½”) in caliper diameter upon planting per forty (40) linear feet of landscape strip. A stand-alone retail store (not in a center) and any outlot portion of a development shall provide a twenty (20) foot landscape buffer planted according to the same standard.

## 7. YARD LANDSCAPING STANDARDS

Exclusive of the above planting requirements, the following landscaping standards shall apply to open areas of lawn or manicured portions of sites not occupied by landscape islands, planting beds, or areas of groundcover, mulch or non-vegetative cover:

At least one tree of not less than two inches (2”) in caliper diameter upon planting shall be installed per four thousand (4,000) square feet of open yard area.

## 8. GENERAL STANDARDS

- a. All signs shall be located in a landscape area not less than 100 square feet in area.
- b. All light standards and poles shall be located within a landscape island.
- c. All landscape strips shall be planted with trees, shrubs, and groundcover. All landscaping shall be maintained in the condition it was installed.
- d. The minimum planting standards for all landscaping materials shall be the following unless otherwise noted:
  - i. -Deciduous Trees- 2 ½” c.d.
  - ii. -Ornamental Tress 2” c.d.
  - iii. -Coniferous Trees 6’ in height
  - iv. -Shrubs, Woody Plants 24” minimum height or 5-gallon containers
  - v. -Perennials 1gallon containers
  - vi. -Annuals 12” spacing
- e. Boulders, rocks, or mulch (including stone, pebbles, sand, or bark) limited to walks, paths, seating areas, planting beds and around plants. When used in

planting beds or around individual trees shall not exceed twenty percent (20%) of the total square footage of the landscaped area.

## 9. LANDSCAPE MATERIAL STANDARDS

a. The following is a list of suggested and prohibited landscape materials for use within landscape areas for large commercial establishments:

i. Suggested Trees and Shrubs:

1. See attached appendix

ii. Prohibited Trees and Shrubs:

1. Norway maple, *Acer platanoides* (this includes the red leafed ones like crimson king) Very invasive.
2. Ailanthus (tree of heaven) Extremely invasive
3. Ornamental pears. *Pyrus sp.* Invasive
4. Golden rain tree. Invasive
5. Purple loostrife. Invasive and illegal in Indiana
6. Russian (Tatarian) Honeysuckle, *Lonicera tatarica*. Extremely invasive
7. Black (Austrian) pine, very susceptible to diplodia blight.
8. All Ash Trees, *Fraxinus sp.* Very susceptible to the emerald ash borer.

## I. Lighting

**Guideline:** Lighting should provide a sense of safety to guests without having a negative affect on neighboring properties. Pedestrian level lighting is encouraged along sidewalks to enhance the experience.

**Standards:**

1. Lighting must to be consistent, appropriate, and compliment the primary structures on the site.
2. Cobra lighting shall be prohibited.
3. Decorative lighting or bollards shall be provided throughout all pedestrian areas of the site including in front of all buildings along walkways.
4. The source of lighting shall not be directly visible to vehicular traffic on public streets.
5. The use of wall packs shall be prohibited on the front façade and sides of buildings and shall be limited to service loading and employee entry areas not visible from rights-of-way, access drives or customer parking areas.
6. All exterior lighting shall be designed in a consistent and coordinated manner for the entire site.
7. All exterior lighting shall be shielded to avoid casting light above three-tenths (0.3) foot-candles or glare upon any property in a residentially zoned district or used for residential purposes.

8. All exterior lighting shall be shielded to avoid casting light above five-tenths (0.5) foot-candles or glare upon any non-residential adjacent property.
9. Flood or area site lighting of high intensity whose light source is visible from off-site shall be prohibited. Specialized or decorative parking, site and pedestrian lighting with a visible light source is permitted with the approval of the Planning Department.
10. All lighting structures within a property or planned development shall be uniform design and materials. Parking lot and streetlights shall also be of uniform height.
11. Lighting poles and structures shall be located within landscaped areas where possible.
12. All exterior lighting shall be shielded so as not to cast direct light on street right-of-ways or adjacent properties.
13. Ceiling lights in gas pump island canopies shall be recessed.

## **J. Drainage Facilities Management**

**Guidelines: All LARGE RETAIL ESTABLISHMENT sites shall provide drainage (runoff) management such that lands adjacent, or those downstream from the site, realize no adverse effects. Adverse effects may be related to runoff rate, volume and/or quality.**

**Standards:**

1. Runoff Rates: Standards for general drainage and runoff discharge rate management issues are found in the “Specifications and Standards for Acceptance of Municipal Improvements” and Part II, Article VI, “Requirements for Storm Drainage and Floodplains” in the Zoning Ordinance.

In some locations characteristics or deficiencies of the receiving watercourse may require that discharge rates from the LARGE RETAIL ESTABLISHMENT site be reduced below those in the ordinances or standards referenced above.

2. Runoff Volumes: For receiving watercourses sensitive to prolonged flows of runoff (volume related), the discharge rates shall be reduced to a level such that the volume of runoff to be discharged does not negatively impact the watercourse.
3. Runoff Quality: Runoff from roofs and paved parking areas typically contains a number of pollutants resulting from air borne deposition, automobile fluid leakage, animal wastes, trash, etc. Runoff management practices shall be designed to reduce the amounts of such pollutants to more acceptable levels before the runoff is discharged to the receiving watercourse.
4. Detention Basins: Basins shall be designed to maximize the capture of pollutants by creating appropriate fore-bays, configurations, flooding depths, first flush storage volumes, and vegetation.
5. Vegetated Swales: Vegetated swales shall be used to convey runoff in lieu of conventional storm sewers. Flow velocities shall be low enough that larger pollutant particles can drop out of the flow. Appropriate vegetation shall be used to slow the flows, capture pollutants and to withstand the periodic inundations. Vegetated swales may be components of the landscaping requirements for the site.
6. Trees: Trees used in the landscape areas, along swales, around the basins and in the landscape islands shall be selected to provide shade and to break the fall of rain. Shade trees shall be emphasized in the landscape islands in the parking lots.

7. Inlets: Where inlet/catch basin structures are permitted they shall be constructed with the outlet pipe trapped to capture floatable trash, debris and greases and oils.
8. "Separators" et al: There are various types of manufactured units, normally factory built, to be placed in line with runoff conveyances to capture oils, greases, some hydrocarbons, trash and debris in the runoff. Properly sized separators shall be utilized in series with other quality management practices to clean and polish the runoff before discharge to the receiving watercourse.
9. Pollutant Removal Standards: Runoff quality practices used on the LARGE RETAIL ESTABLISHMENT site shall be selected with intent of targeting the EPA benchmark pollutant levels. The benchmark levels are as stated in EPA's Final Reinsurance of National Pollutant Discharge Elimination System (NPDES) Storm Water Multi-Sector General Permit for Industrial Activities, October 30, 2000.
10. Aesthetics: Developers are encouraged to feature drainage components as attractive elements and focus points of the developed site. Detention basins and swales shall be designed with an eye to aesthetics. Basins and swales shall have curvilinear, non-uniform banks, with varying slopes to appear more a natural feature of the site than an "engineered" structure.
11. Maintenance: The developer shall provide an operation and maintenance plan for all drainage components. Provisions shall be made for the perpetuation of the necessary operation and maintenance.

**Section 3850 Abandonment of Large retail establishments – Vacancy/Relocation**

**Guideline: As seen across the nation as well as in the Valparaiso community, large retail establishments can become vacant, which often results in the building(s) deteriorating, becoming unattractive, and ultimately discouraging future growth in the surrounding area. This phenomenon is not only accompanied by aesthetic concerns due their always-prominent locations, but may have additional negative secondary effects and perceptions as well. Part of the reason for these occurrences is the disposable nature of the construction of large retail buildings. The life expectancy of these stand-alone buildings and larger centers is decreasing with time. As a result of this, it is in the best interest of the City to safeguard against the opportunity for these sites to become a concern when they are vacated. The following standards serve to limit the situations described above. A vacant, yet buildable site, or one in which the owner is required to actively and aggressively market such for reuse or redevelopment is better for Valparaiso for many reasons, and the standards below seek to preserve and protect the interests of Valparaiso.**

**Standards:**

**In the event that a large retail establishment becomes vacant the owner of such property shall meet with the city and file a plan of action for re-use of such facility. This plan of action shall address both the maintenance of the existing facility, re-use of the property by the existing owner and the active remarketing of such facility or the reuse of the property by its current owner. This plan may or may not include the redevelopment of the site to make it compatible with adaptive reuse. The reuse plan will require that the owner file monthly reports (Building Name Reuse Activity Plan Activities) with the city that detail;**

- 1) Listing agents currently under contract. Listing agent data will entail agency, primary contact and all contact information. The length of term of the listing will also be included in the report.

- 2) Special Events. Events such as open houses, facility tours, etc. should be included in the report.
- 3) Inquiries into the property. Inquiries will include name, company name, address and phone number of the prospect.
- 4) Maintenance activities to prevent blight and decay.
- 5) Improvement activities for adaptive reuse.

**This plan will become a binding contract with the city. Failure to post this plan within 60 days of closing of the facility with the city shall place the owners in default of this ordinance. At such time the city will provide notice of their ability to condemn and demolish such property, the cost of which will be the responsibility of the current owner.**

**Determination of Abandonment.**

**In the event that the monthly reuse reports are not filed with the city, or in the event that the city determines that the information in the report is fraudulent, the city may, at its discretion, determine the property to be abandoned. The city will provide notice to the property owner(s) that the property is determined to be in such status and provide for a 30 day period during which the property owner can return such property to active listing status. If at the end of this 30 day period the property has not been returned to active status, the city shall notify the property owner of their intent to begin condemnation proceedings on the property.**

**Demolition.**

**If, after 30 days from the receipt of such notice of intent to begin condemnation proceedings there has been no or insufficient activity on the part of building owner(s) to actively promote the reuse of the facility, the city may, at their discretion, initiate activities to demolish the facility as well as any parking areas and accessories thereto.**

## Recommended big box Trees for Valparaiso

### Maple

Acer buergerianum	Trident maple	pl
A. campestre	Hedge maple	pl
A. ginnala	Amur maple	pl
A. griseum	Paperbark maple	pl
A. pensylvanicum	Moosewood	
A. rubrum	Red maple	w
A. saccharum	Sugar maple	

- Norway maple is not recommended for our ecosystem. The Dept of Natural Resources has deemed this tree to be an invasive non-native plant. Acer platananoides All other maples listed will give an amazing fall color display.

### Serviceberry

Amelanchier arborea	Downy serviceberry	pt shade: pl
A. canadensis	Shadbush	pt shade: pl
A. grandiflora	Apple serviceberry	pt shade: pl
A. laevis	Allegheny serviceberry	

- \*Amelanchier are great for wildlife, spring flowers, and fall color. Single trunk tree forms are now available

### Buckeye

Aesculus. flava	Yellow buckeye	pt shade
A. glabra	Ohio buckeye	pt shade
A. hippocastanum	Horsechestnut	pt shade

- Buckeyes are among the largest flowering trees native to Indiana.

### Alder

Alnus viridis	Green Alder	w: pl
A. glutinosa	Black Alder	w: pl
A. rugosa	Speckled Alder	w pl

- \*Good tree for a wet site or one prone to flooding.

### Birch

Betula nigra	River birch	w
B. papyrifera	Paper birch	keep moist but not wet

- \*European and Japanese birch are not recommended as they are very susceptible to bronze birch borer. Betula pendula and Betula japonica

### Hornbeam

Carpinus caroliniana	Blue beech(muscle wood)	pl damp shade
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- \*Fantastic native understory tree with interesting bark and wonderful fall color.

### Hickory

Carya cordiformis	Bitternut hickory	
C. glabra	Pignut hickory	
C. illinoensis	Pecan	
C. ovata	Shagbark hickory	

- \*Hickorys and a lot of other underused native trees are hard to find in the nursery trade due to lack of demand. Ask your local nursery to order trees in the early fall and reserve them for spring.

### **Hackberry**

Celtis occidentalis                      common Hackberry

\*Hackberry is a big native tree with corky bark and berries that attract birds and other wildlife.

### **Redbud**

Cercis canadensis                      Eastern redbud                      pl pt shade to shade

\*Protect from damaging winter winds and too much direct sun.

### **Dogwood**

Cornus alternifolia                      Pagoda dogwood                      pl pt shade to shade

C. florida                                      Flowering dogwood                      pl pt shade to shade

C. mas    Cornelian cherry                      pl pt shade

\*Cornus mas has wonderful early yellow blossoms. Protect all dogwoods from lots of direct sun and winter wind.

### **Hawthorn Crataegus**

Crataegus species                      Hawthorn                                      pl sun to shade

\*Hawthorns are versatile and great for spring flowers and winter berries, substitute a hawthorn for that crabapple that you are thinking of planting. Crabapples are both overused and very susceptible to a number of diseases. We do not recommend planting crabapples.

### **Beech**

Fagus grandiflora                      American beech                      pt shade

F. sylvatica                                      European beech                      pt shade

\*Beech are, ultimately, huge trees native to moist woodlands and it is not recommended to plant them in full sun. Please do not carve in the bark of these magnificent trees. If you have ever done this, go back to that beech, apologize and give him a hug.

### **Ginkgo**

Ginkgo Biloba                                      Ginkgo

\*Big tough tree from East Asia. Make certain that the Ginkgo you buy is a male as the female of the species produces a fruit that smells very offensive.

### **Honey locust**

Gleditsia triacanthos                      Honey locust

\*Good street tree but a little over-used. Many variations (not more than 10% in any tree planting)

### **Kentucky Coffee Tree**

Gymnocladus dioica                      Kentucky Coffee Tree

\*Big under-used tree native to Indiana. Disease and drought resistant. Plant instead of locust and ash.

### **Witch hazel**

Hamamelis virginiana                      Common witch-hazel                      pl part shade

H. vernalis                                  Vernal witch-hazel                                  pl part shade  
\*Small native under-story tree. Virginia blooms in fall and vernalis blooms in early spring.

### **Tulip tree**

Liriodendron tulipifera                  Tulip tree

\*State tree of Indiana. Big tree that gets its name from tulip like flowers borne in early summer.

### **Black Gum**

Nyssa sylvatica                                  Black gum, Tupelo                                  damp acid soil

\*Ultimately large shade tree with reddish orange fall color. Likes moist well drained soil.

### **Ironwood**

Ostrya virginiana                                  American hophornbeam                                  part shade

\*Fantastic bark on mature trees with catkin-like flowers in summer. Likes shade

### **Sycamore**

Platanus occidentalis                                  Sycamore    sun to shade damp

Platanus acerifolia                                  London planetree

\*Very large majestic tree with peeling green, white and gray bark. Native habitat is creek bottoms and riverbeds. Plant in a moist spot.

### **Aspen**

Populus tremuloides                                  Quaking aspen

\*One of the most widely scattered trees in North America. White bark and great orange fall color.

### **Cherry**

Prunus serotina                                  Wild black cherry

\*Big native tree with flaky black bark, white flowers in spring and wildlife attracting berries.

### **Oak**

Quercus alba	White oak	
Q. bicolor	Swamp white oak	damp
Q. coccinea	Scarlet oak	
Q. imbricaria	Shingle oak	
Q. macrocarpa	Burr oak	
Q. muehlenbergii	Chinkapin oak	
Q. prinus	Chestnut oak	
Q. robur	English oak	
Q. rubra	Northern red oak	
Q. shumardii	Shumard oak	
Q. velutina	Black oak	

\*Big, tough hardwood trees with variable fall color depending on the species. Acorns provide food for wildlife.

## Linden

Tilia americana            American basswood

Tilia cordata              European linden

\*Medium to large trees with fragrant flowers in early summer.

\*w denotes tree suitable for wet site

\*pl denotes tree suitable for under utility lines

\*Ash was not included because of the infamous Emerald Ash Borer. This exotic bug was accidentally imported from China in the wood of a shipping crate. It surfaced in the Detroit area and ravaged over seven million of our native ash trees. It is on the move and has been found in Northeast Indiana. Please hold off on planting ash trees until further notice. We would hate for you to plant a tree, only to have it die a few years later.

\*Pear trees were also excluded from the list. Pears are beautiful trees, however, due to their narrow branching habits, they tend to become damaged in storms rather easily.

\*Crabapples are very susceptible to disease. They also sucker very aggressively and, more often than not, are either not taken care of or improperly “pruned” to make room for the lawnmower. Improper pruning of all trees is not only unsightly, but it does not allow the tree to heal properly opening it up to disease and borers.

**Recommended Shrubs for commercial landscaping**

**Bayberry, *Myrica pensylvanica* , semi evergreen**

**Mockorange, *Philadelphus spp***

**Lilac, *Syringa spp***

**Rugosa rose**

**Grow-lo sumac, Dwarf Fragrant Sumac, *Rhus aromatica***

**Smooth Sumac, *Rhus glabra*, Great for heavy dry compacted clay soils**

**Virginia Sweetspire, *Itea virginica*, slightly acid and moist soils**

**Chokeberry, *Aronia spp.***

**Forsythia**

**Summersweet**

**Flowering Quince, *Chaemomeles speciosa***

**Viburnums various**

**Whitch Hazel, *Hamamelis virginiana***

**Juniper various**

**Taxus**

**Smooth Hydrangea, *Hydrangea arborescens***

**Oak Leaf Hydrangea, *Hydrangea quercifolia***