

MEETING AGENDA

Valparaiso Board of Zoning Appeals
Tuesday, April 17th, 2018 7:00 PM
City Hall, 166 W. Lincolnway

1. Roll Call
2. Adoption of March 20th 2018 Meeting Minutes
3. Presentation by Analisa Warning, Chair of the Ethics Commission
4. Old Business

NONE

5. New Business

VAR18-004 A petition filed by Brent Wagner, 54 Indiana Avenue, Valparaiso, IN 46383. The petitioner requests a variance from Article 2, Section 2.303, of the Valparaiso Unified Development Ordinance, to vary the required detached accessory structure height of 17 feet, to allow for a height of 28 feet. A variance from Article 2, Section 2.303, to vary the maximum accessory structure size of 600 square feet, to allow for an accessory structure of 848 square feet. The property is located at 56 Chicago Street, in the NC-60, Neighborhood Conservation Zoning District.

VAR18-005 A petition filed by Jeff Brown, 4701 Airport Drive, Valparaiso, IN 46383. The petitioner requests a variance from Article 11, Section 11.305, of the Valparaiso Unified Development Ordinance, to vary the required front yard setback of 65 feet, to allow for a front yard setback of 26 feet. The property is located at 4711 Airport Drive, in the INH, Heavy Industrial Zoning District.

VAR18-006 A petition filed by Pratt Paper (IN) LLC, 1800-C, Sarasota Parkway, Conyers, GA 30013. The petitioner requests a variance from Article 3, Section 3.505, of the Valparaiso Unified Development Ordinance, to vary the required front yard setback of 25 feet, to allow for a zero lot line setback for the construction of an enclosed conveyor system that will connect two buildings, located on separate lots. The property is located at 3155 State Road 49, in the INH, Heavy Industrial Zoning District.

VAR18-007 A petition filed by LJF Investments, LLC. c/o Todd A. Leeth, Hoepfner Wagner & Evans LLP, 103 E. Lincolnway, Valparaiso, IN 46383. The petitioner requests modification of the building materials and building design that were part of the reasonable conditions of the Findings of Fact, for cases SE16-009, UV16-002, VAR16-004, VAR17-026 and SE17-001. The property is located at 151 and 153 Morgan Boulevard, in the RT, Residential Transition Zoning District.

VAR18-008 A petition filed by MM Valpo LLC, c/o Marc Realty 55 East Jackson Street, Suite 500, Chicago, IL 60604. The petitioner requests a variance from Article 3, Section 3.505, of the Valparaiso Unified Development Ordinance, to vary the required rear yard setback of 30 feet, to allow for a zero lot line rear yard setback for the construction of an enclosed conveyor system that will connect two buildings, located on separate lots. The property is located at 3155 State Road 49, in the INH, Heavy Industrial Zoning District.

6. Adjournment

Michael Micka, President – Board of Zoning Appeals

Tyler Kent, Planning Director

Next Meeting: May 15th, 2018

VALPARAISO BOARD OF ZONING APPEALS
Regular Meeting Minutes
March 20, 2018

The regular meeting of the Valparaiso Board of Zoning Appeals was held at 7:00 p.m. on Tuesday, March 20, 2018 in the Valparaiso City Hall Council Chambers. Mike Micka presided.

Members present were: Diane Worstell, Elizabeth Lynn, Melanie Trowbridge Ryan Wright, and Mike Micka. Also present were Attorney Ethan Lowe, Tyler Kent, citizens, and representatives of the press.

MINUTES:

Diane Worstell made a motion to approve the February 20, 2018 minutes as submitted. Melanie Trowbridge seconded the motion. A voice vote was taken and unanimously carried 5-0.

OLD BUSINESS:

None.

NEW BUSINESS:

VAR18-003 – A petition filed by Ellen Parker, 503 Garfield Avenue, Valparaiso, IN. The petitioner requests a variance from Article 2, Section 2.303, of the Valparaiso Unified Development Ordinance, to vary the maximum accessory structure size of 600 square feet to allow for an accessory structure of 720 square feet. The property is located at 503 Garfield Avenue, in the Neighborhood Conservation (NC-60) Zoning District. Ellen Parker and Aaron Burke presented. We would like to extend our garage space to allow for a work bench and proper storage of our tools, etc. The additional four feet is on the side so we may move things in and out more easily. We purchased this property recently and the existing garage is very small and not aesthetically pleasing. The driveway also needs to be upgraded. Street parking is common in this area but we would like to be able to help that congestion by parking in our own garage and driveway. The proposed improvements include altering the gutter drainage pattern to not drain toward the neighbor as it does now. This will be a definite improvement to our property and to the area overall.

Public Hearing:

Mike Micka asked if any of the public would like to speak in favor of or in opposition of this petition. Mr. Micka also asked that the public address their questions to the Plan Commission while at the same time the petitioner will take notes and respond at one time.

Paula Keller, 406 Garfield Avenue, asked how tall will the proposed garage be and if it will only be one story?

Ms. Parker's Rebuttal:

- The plans show a height of nineteen (19) feet.
- The structure is only one story, but will allow for storage up above.

The public hearing was closed and question/comments were heard from the Members.

Q: Does the proposed garage require a variance in terms of setback from the neighbor's property?

A: No. Just for the square footage.

Q: The existing garage and existing gravel drive will be removed and the new added on off of the alley?

A: Yes.

Q: What are the plans for the existing driveway after the new driveway is in place?

A: To be seeded and landscaped.

Tyler Kent requests any approval be contingent upon the design of the building being as proposed and per the plan submitted. Architecturally it is consistent with the existing home.

Motion: Ryan Wright made a motion to approve VAR18-003 to vary the maximum accessory structure size of 600 square feet to allow for an accessory structure of 720 square feet contingent upon the design of the building being as proposed and per the plan submitted. Such approval will not be injurious to the health, safety, morals, and general welfare of the community, it will provide attractive and affordable housing; will not affect the use and value of the area adjacent to

the property included in the variance in a substantially adverse manner; arises from practical difficulties in the use of the property in conformity with the Zoning Ordinance; and the petitioner will comply with all parking requirements. Melanie Trowbridge seconded the motion. A roll call vote was taken and unanimously carried 5-0.

STAFF ITEMS:

None.

ADJOURNMENT:

There being no further business, the March 20, 2018 Board of Zoning Appeals meeting was adjourned at 7:18 p.m.

Mike Micka, President

Tyler Kent, Executive Secretary

Petition #: VAE 18-004

**PETITION TO
VALPARAISO BOARD OF ZONING APPEALS**

The Petition shall be filed in duplicate with the City Clerk-Treasurer a minimum of 25 days prior to the date of the next Board of Zoning Appeals ("BZA") meeting. The BZA meets every third Tuesday of the month at 7:00 PM in City Hall, 166 Lincolnway, Valparaiso. The Petitioner and/or his/her representative must be present at the public hearing. The filing fee must be paid to the City Clerk-Treasurer upon filing a complete Petition. Please submit nine (9) copies of this petition.

PLEASE COMPLETE THE FOLLOWING:

The undersigned Petitioner and owner(s) of real estate, identified within this application as property within the jurisdiction of the City, respectfully petition the Board of Zoning Appeals to consider;

- ☐ 1. Relief to an Administrative decision. (Exhibit No.)
- ☒ 2. Variance(s) from the development standards.
- ☐ 3. Variance of the use from the terms of the Zoning Ordinances.
- ☐ 4. Petition for Special Exception.
- ☐ 5. Special Exception from Home Occupation.
- ☐ 6. Conditional Use.

In support of an application for **Variance(s) from the Development Standards**, the Petitioner states that the granting of such request:

- ☒ Will not be injurious to the health, safety, morals, and general welfare of the community;
- ☒ Will not affect the use and value of the area adjacent to the property included in the variance in a substantially adverse manner; and arise from practical difficulties in the use of the property in conformity with the Zoning Ordinance.
- ☒ Petitioner will comply with all ordinance parking requirements.

In support of an application for a **Use Variance**, the Petitioner states that the granting of such request:

- ☐ Will not be injurious to the health, safety, morals, and general welfare of the community;
- ☐ Will not affect the use and value of the area adjacent to the property included in the variance in a substantially adverse manner; and arise from practical difficulties in the use of the property in conformity with the Zoning Ordinance.
- ☐ Arise from a condition peculiar to the property;

- ___ Arises from unnecessary hardships if the Zoning Ordinance is strictly applied; and
- ___ Does not interfere substantially with the Comprehensive Plan adopted.
- ___ Petitioner will comply with all ordinance parking requirements.

In Support of an application for Special Exception, the Petitioner states that the granting of such request:

- ___ Will not generate excessive vehicular traffic on minor residential streets;
- ___ Will not create vehicular parking or traffic problems;
- ___ Appropriate access roads, drives, utilities, drainage, facilities, and other necessary facilities have been or will be installed;
- ___ Will make a substantial contribution to the neighborhood environment and will not infringe on the rights of properties in the vicinity of the expected use;
- ___ Will comply with the requirements of the district in which proposed use is to be located.
- ___ Petitioner will comply with all ordinance parking requirements.

In support of such application for Special Exception for Home Occupation, Petitioner states:

___ That no person other than members of the family residing on the premises will be engaged in the home occupation.

___ That the use of the dwelling unit for home occupation will be clearly incidental and subordinate to its use for residential purposes and not more than 25% of the floor area of the dwelling will be used in the conduct of the home occupation.

___ That there will be no change in the outside appearance of the building or premises, or other visible evidence of the conduct of such home occupation, other than one sign-such sign not exceeding two square feet in area, non-illuminated and containing only the name and nature of the business.

___ That no home occupation will be conducted in any accessory building.

___ That there will be no sales area unless specifically permitted by the BZA.

___ That no traffic will be generated by such home occupation in greater volume than would normally be expected in a residential neighborhood and any need for parking generated by the conduct of such home occupation will be met by required or permitted parking spaces, and will not be in the front yard.

___ That no equipment or process will be used which creates noise, vibration, glare, fumes, odors, or electrical interference detectable to the normal senses which can be detected off premises.

PETITIONER:

BERNARD WAGNER, WAGNER ARCHITECTURE 219.531.2468
 Name (Please Print) Address Phone

OWNER OF SUBJECT PROPERTY:

Thomas W. Davis
Susan F. Davis 56 Chicago Street 219-629-0924
 Name (Please Print) Address Phone

ADDRESS OF SUBJECT PROPERTY: 56 Chicago Street

Subject property fronts on the North side between (streets) Washington and Lafayette
 in the NC-60 Zoning District.

Legal Description of Subject Property: (Exhibit No. 1)

The South 110.0 feet of Lot 6 in Block 7 in the Original Survey of the Town
(now City) of Valparaiso, as per plat thereof, recorded in Deed Record "A",
page 13, in the office of the Recorder of Porter County, Indiana

DESCRIPTION OF PROPOSED PROJECT INCLUDING, NEW CONSTRUCTION,
ADDITION, ALTERATION, OR CHANGE OF USE: (Exhibit No.)

NEW DETACHED GARAGE
SEE ATTACHED PLANS

Section (3) of the Zoning Ordinance from which a Variance, Special Exception, or
Administrative Relief is sought:

Article: 2 Section: 303 Paragraph: 12 Item: 1, 2
: _____ : _____ : _____ : _____
: _____ : _____ : _____ : _____

Attach a Site Plot Plan drawn to scale showing:

- scale
- lot: shape, location, dimension, and area
- existing improvements on the lot (including, structures, sidewalks, & driveways)
and the percent coverage of improvements on the lot
- distance for lot lines, right-of-way lines, or easements to any structure for: front,
back and side yards

Please fill in:

Front Setback 20' Rear Setback 20' Side Setbacks 6' / 12' Lot Coverage 50%
Height 35'

The powers and duties of the Board of Zoning Appeals are provided for and limited by Enabling Acts in Indiana Code 36-7-4-900 et. seq.. The public hearing procedures are similar to a courtroom hearing. Although it is not required that the Petitioner represented by legal counsel, information and documentation pertaining to the petitioner should be prepared as if it were to become part of a court hearing. **Although the office of the City Planner is available to assist the Petitioner, it is the Petitioner's responsibility to request and prepare the appropriate variance petition.** The Planning Department can be contacted Monday-Friday between 8:30 – 4:30 at (219) 462-1161.

Petitions will not be scheduled for public hearing unless all legal and procedural requirements have been met.

Last updated 1/16/18

STAFF USE ONLY

Date Received _____

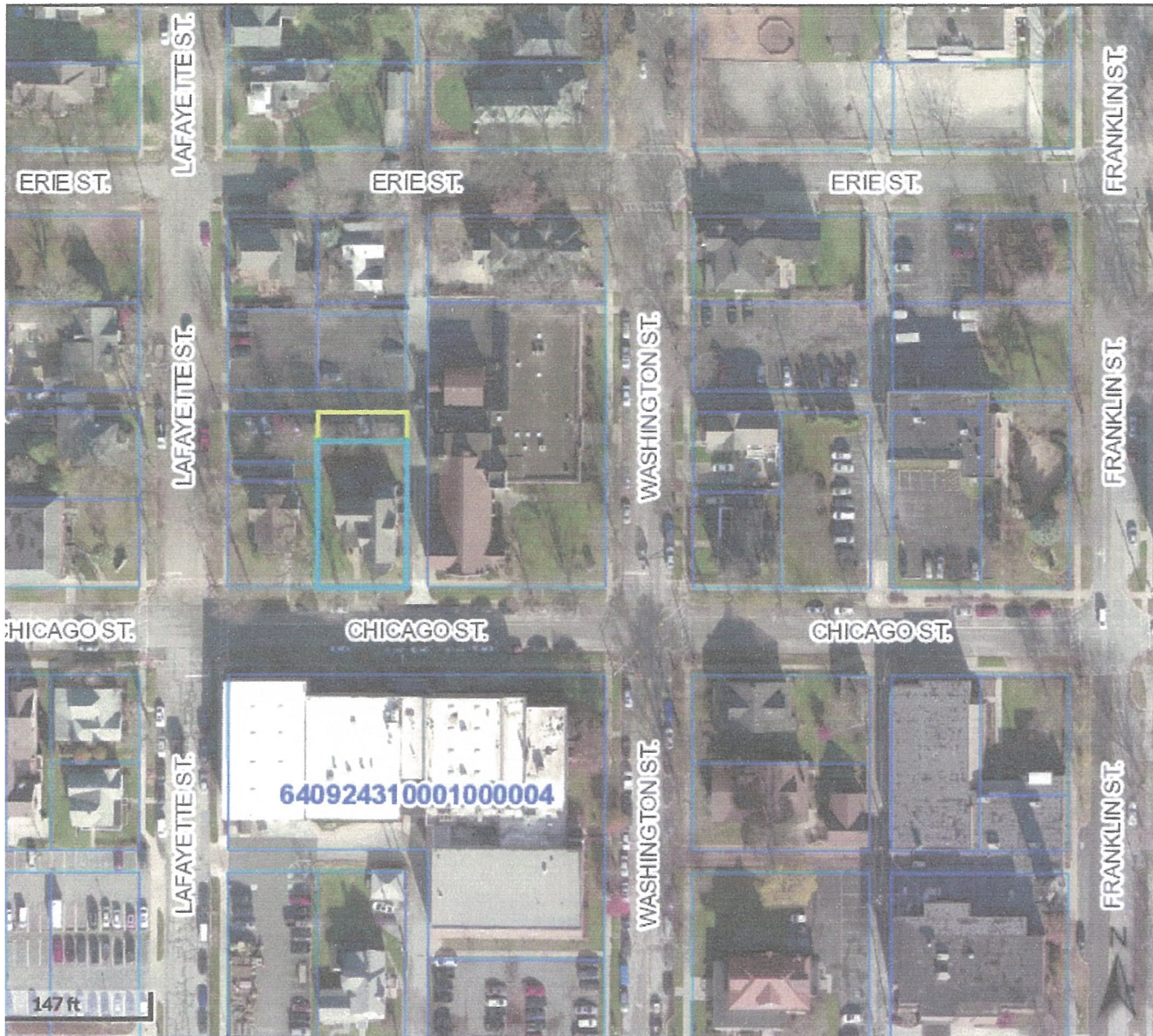
- _____ Names and Addresses of property owners within 300 feet provided
- _____ Signature notarized
- _____ Site Plan attached
- _____ Legal Description (Not Abbreviated) Provided
- _____ Petition Filed Complete
- _____ Written Description of Project
- _____ Petitioners Affidavit of Notice
- _____ Findings of Fact
- _____ Photo's of Property (Staff Request)
- _____ Landscape Plan (Staff Request)

Date approved for Public Hearing _____, _____

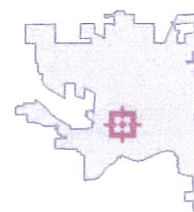
BZA Application Fees

_____ Use Variance	\$200
_____/_____ Single Family Development Standards Variance	\$50
_____ Commercial Development Standards Variance	\$150
_____ Special Exception/Special Use	\$200
_____ Relief to an Administrative Decision	\$200
_____ Special Meeting	\$1000
_____ Conditional Use	\$100
_____ Wireless Communications Facility Special Use – Major	\$500
_____ Wireless Communications Facility RF Tech Study Fee	\$ Actual cost of study

TOTAL FEE _____



Overview



Legend

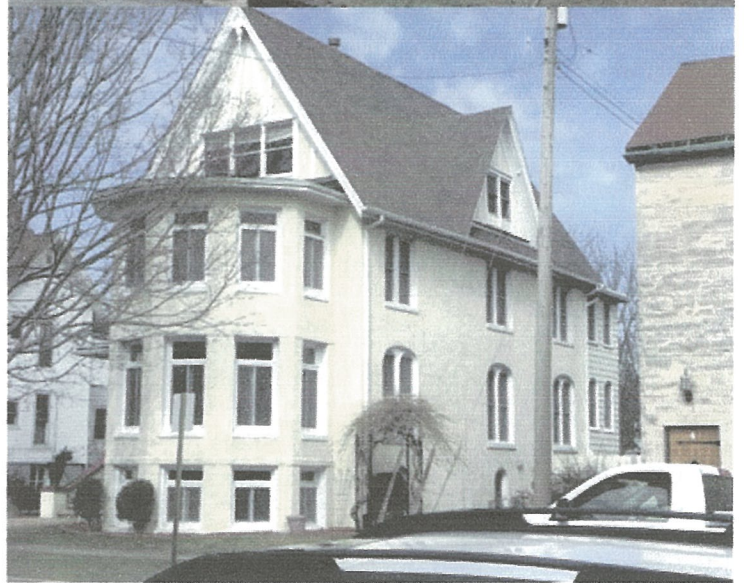
- Parcels
- Street Name
- City Limits

ID 640924307010000004 vp/Rng n/a erty Address 56 CHICAGO ST VALPARAISO t VALPARAISO (CENTER) 'ax Description OS S110 LOT 6 BLK 7 (Note: Not to be used on legal documents)	Alternate ID 09-24-307-013 Class 1 Family Dwell - Platted Lot Acreage n/a	Owner Address Gervac Margaret 56 Chicago St Valparaiso IN 46383
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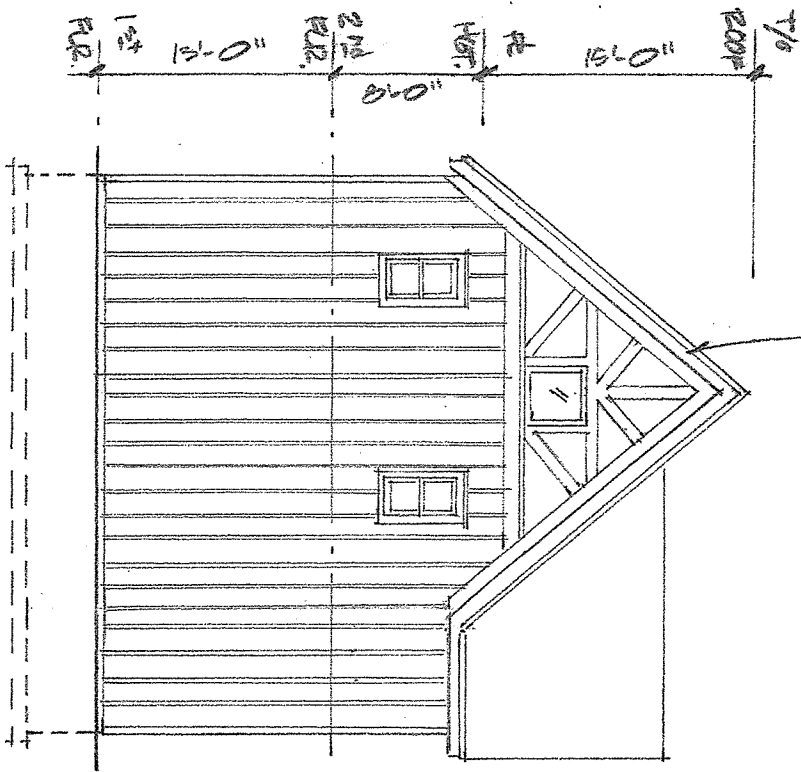
dated: 3/12/2018

ta Uploaded: 3/8/2018 7:17:06 PM

Developed by
The Schneider Corporation



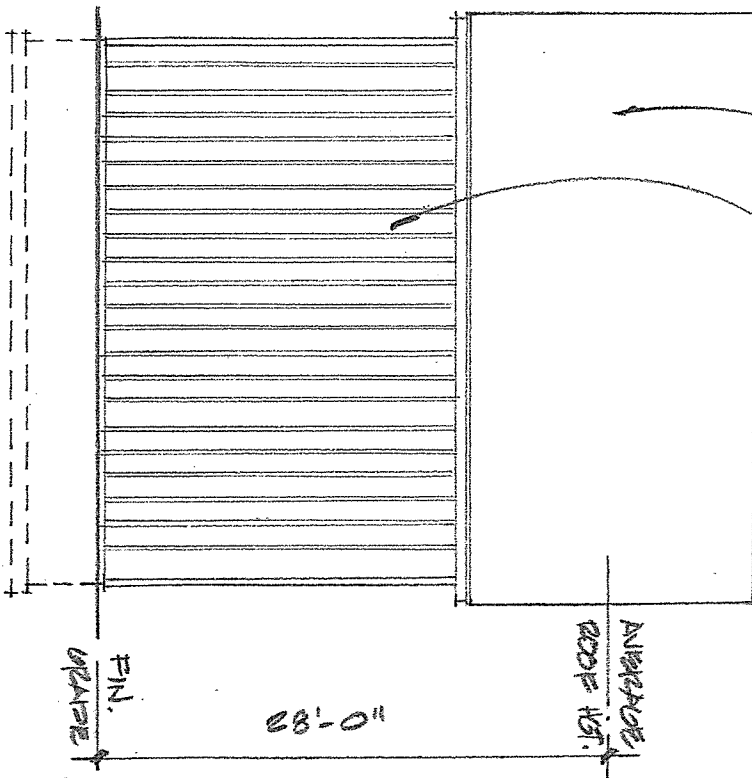
SMARTSIDE PANELS
W/ APPLIED
SMARTSIDE TRIM



WEST ELEVATION

SCALE $\frac{3}{32}'' = 1'-0''$

ASPHALT
ROOF SHINGLES
SMARTSIDE COMPOSITE
BOARD & BATTEN SIDING



NORTH ELEVATION

SCALE $\frac{3}{32}'' = 1'-0''$

WA

WAGNER
ARCHITECTURE

DAVIS CARRIAGE HOUSE

560 CHICAGO ST.

VALPARAISO IN



10 MARCH 2019

Schedule A

EXHIBIT A

The South 110.00 feet of Lot 6 in Block 7 in the Original Survey of the Town (now city) of Valparaiso, as per plat thereof, recorded in Deed Record "A", page 3, in the Office of the Recorder of Porter County, Indiana.

56 Chicago Street, Valparaiso, IN 46383

The Property address and/or tax parcel identification number(s) listed are provided solely for informational purposes, without warranty as to accuracy or completeness and are not hereby insured.

Property Owners List

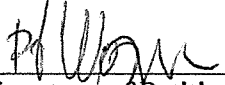
Steven R. and Patricia J. Ingram	106 Washington St	Valparaiso	IN	46383	
David M. Pape	P.O. Box 95	Valparaiso	IN	46384	108 Washington St
Trinity Lutheran Church of Valparaiso	201 Washington St	Valparaiso	IN	46383	
Glynn E. Bricker Jr	202 Washington St	Valparaiso	IN	46383	
Sandra K and Stevan Craig Simkins Sr	204 Washington St	Valparaiso	IN	46383	
Kenneth P. Blaney Jr	303 Washington St	Valparaiso	IN	46383	
Michael A and Nicole T Durkin	890 Thoreau Tri	Valparaiso	IN	46383	
BridgePoint Church of Hobart IN Inc	105 Washington St	Valparaiso	IN	46383	58 W Chicago St
Gregory & Carol Costakis	151 Chicago St	Valparaiso	IN	46383	55 Chicago St
Community Theatre Guild	154 Chicago St	Valparaiso	IN	46383	
Joseph D and Mary J Casko	156 Chicago St	Valparaiso	IN	46383	
James F and Rosemary Lepell	152 Erie St	Valparaiso	IN	46383	
Milton Sheri Laine Trust	1118 Hinman Ave	Evanston	IL	60202	151 Erie St
Jeffrey A Sederberg	PO Box 181	Valparaiso	IN	46384	105 Lafayette St
Steve A Johnson & Megan Wolfe	107 Lafayette St	Valparaiso	IN	46383	
Sam and Michelle Samardzija	205 Lafayette St	Valparaiso	IN	46383	
Ronald H & Cydney M Knight	203 Lafayette St	Valparaiso	IN	46383	
After Five Investments LLC	633 N Calumet Ave	Valparaiso	IN	46383	304 Lafayette St
City of Valparaiso	166 Lincolnway	Valparaiso	IN	46383	
Eastlake Victorian Residence LLC	58 Jefferson St	Valparaiso	IN	46383	
First United Methodist Church	103 Franklin St	Valparaiso	IN	46383	
Christopher Michael & Jessic Romano	208 Washington St	Valparaiso	IN	46383	
Evelyn F Jones Livingtrust	1167 Kingsley Ct S	Mendota Heights	MN	55118	207 Washington St
Thomas A Voss	57 Erie St	Valparaiso	IN	46383	
Nikki Peck Nixon	55 Erie St	Valparaiso	IN	46383	

aka 58 Chicago LLC

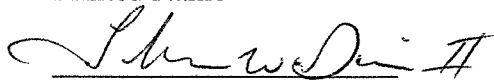
Certificate of Petitioner

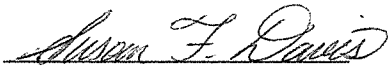
Please read and sign the following statement:

I, the Petitioner (and Property Owner, if separate), understand that I and/or my representative must be present at the public hearing. Should I fail to appear, the BZA, in my absence, may consider and take action on my Petition. If the Petitioner is not the owner of the property that is the basis of this Petition, the signature of the Property Owner(s) constitutes authorization for the Petitioner to speak and act on behalf of the Property Owner(s). The Petitioner certifies that neither the Petitioner nor any attachments or exhibits submitted contains any known intentional misrepresentations or intentionally misleading statements. All information submitted is accurate, true and correct to the best of the Petitioner's knowledge. The providing of false and/or inaccurate information on this Petition or during any proceedings before the BZA may result in the denial of the request or the revocation of the request, should a Petition be granted. Similarly, if as part of any granted Petition, the BZA places any restrictions and/or limitations, I acknowledge that my failure to comply with such restrictions/limitations shall be grounds to revoke any granted Petition. The Petitioner acknowledges that it bears the obligation to mail notice of any Public Hearing to all property owners within 300 feet of the property that is the subject of this Petition. Any errors by the Petitioner may result in the Petition being delayed, denied or revoked.


Signature of Petitioner

BRENT WAGNER
Printed Name


Signature of Property Owner

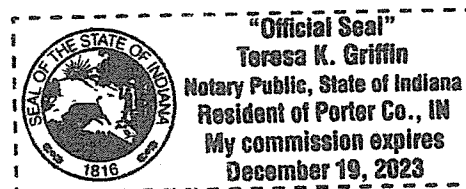

Signature of Property Owner

Subscribed and sworn to before me, a Notary in and for said County and State, personally appeared: Brent Wagner, Thomas W. Davis II, & Susan F. Davis, and acknowledge the execution of the foregoing document, this 15th day of March, 2018.


NOTARY PUBLIC

My Commission Expires: 12-19-2023
Resident of Porter County

Teresa K. Griffin
Type or Print name of Notary



Affidavit of Consent of Property Owner

(To be presented with application for Board of Zoning Appeals)

Thomas W. Davis / Susan F. Davis, being dully sworn upon his/her oath, being of sound mind and legal age deposes and states:

1. That THOMAS W. DAVIS / Susan F. Davis ("Owner") (is/are) the legal owner(s) of real property that is the subject of a Petition before the BZA.
2. That Owner authorizes BROOK WAGONER ("Petitioner") to seek the relief sought in the Petition filed before the BZA. Petitioner is further authorized to commit to any reasonable restriction requested by the BZA or proposed by the Petitioner.

Thomas W. Davis II
Property Owner

3/15/2018
Date

Susan F. Davis
Property Owner

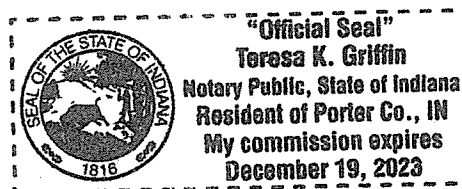
3/15/18
Date

Subscribed and sworn to before me this 15th day of March, 20 18.

Teresa K. Griffin
Notary Public

My Commission: 12-19-2023

3/15/18
Date



Variance from Development Standards
Findings of Fact
(Please Print)

Petitioner submits that:

A. The proposed variance from the Development Standards will not be injurious to the public health, safety, morals, and general welfare of the community because: _____

See attached

B. The use and value of the area adjacent to the property included in the proposed variance will not be affected in a substantially adverse manner because: _____

See attached

C. The strict application of the terms of the zoning ordinance will result in particular difficulties in the use of the property included in the proposed variance because: _____

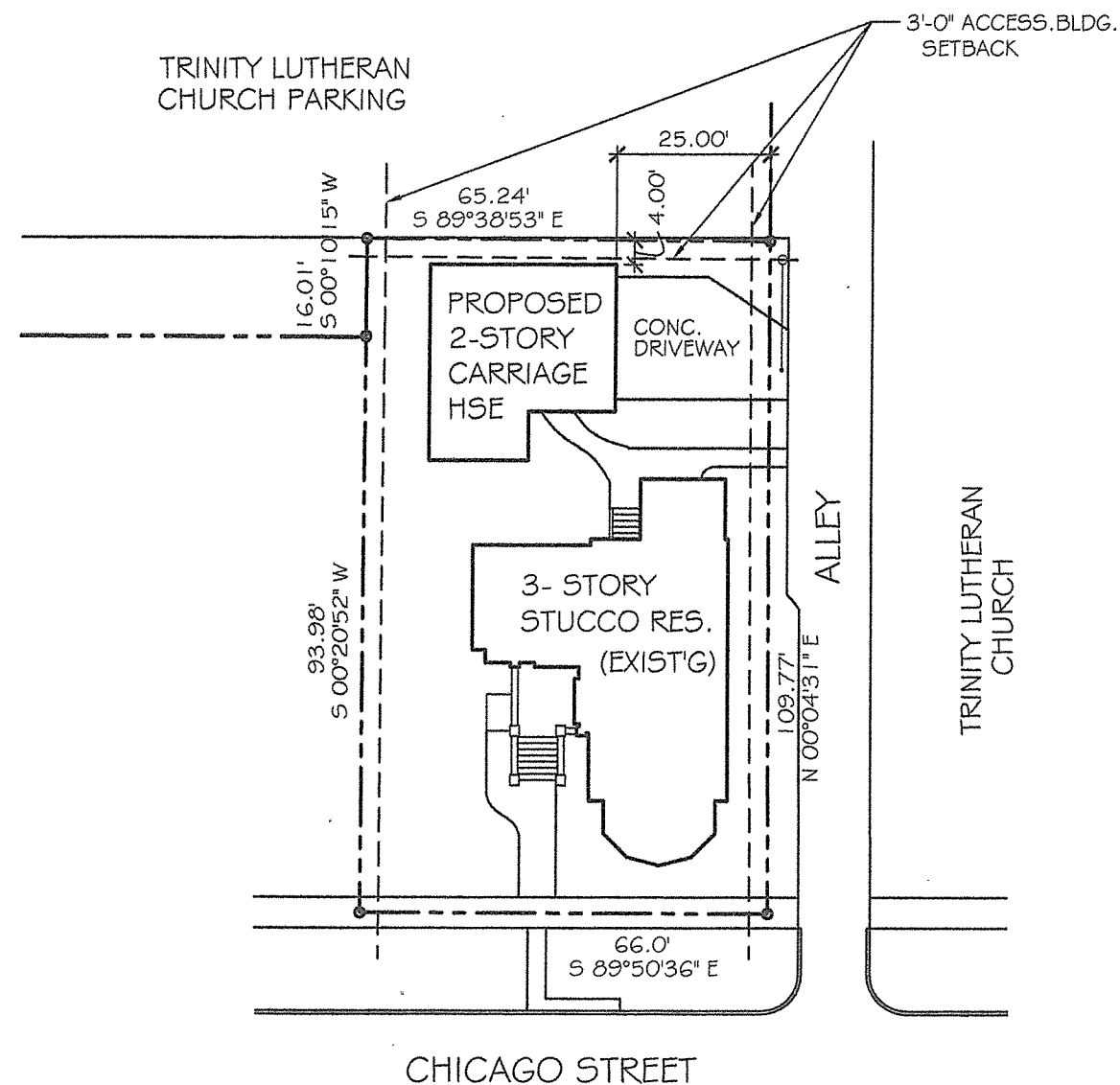
See attached

The Petitioner carries the burden of proving to the Board of Zoning Appeals the existence of each and every one of the elements listed above.

- (A) The requested variance is to allow for the construction of a garage to the north side of an existing residence which currently has no garage. The addition of a garage to the property will augment the usefulness and enjoyment of the property for the owner, while in no way be injurious to public health, safety, morals, and general welfare of the community, as a garage represents a standard enhancement to properties in the area.

- (B) The scale and design of the proposed garage reflects the architectural style of the existing home, and fits with the vocabulary of the surrounding neighborhood. The north side of the garage will face the parking lot for Trinity Lutheran Church, while the more decorative side of the garage, will face Trinity Lutheran Church across the shared alley to the east. The garage will in no way alter the use of the adjacent properties, and has been designed to complement the surrounding properties, adding value to the neighborhood.

- (C) Strict application of the zoning ordinance would not allow for the garage design to compliment the historic nature of the residence, by restricting the height and coverage to a much smaller footprint. The residence is a 3-story, historic residence and is best complimented by a taller structure, in scale with the current residence.

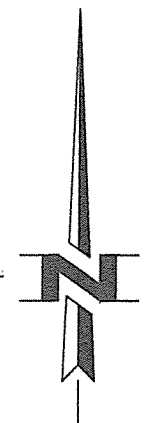


PROJECT INFORMATION:

DESCRIPTION:	CONSTRUCTION of a NEW 2-STORY CARRIAGE HOUSE as an ACCESSORY STRUCTURE for a 3-STORY SINGLE FAMILY RESIDENCE.		
ZONING	NC - 60		
LOT SIZE	66' x 110' = 7,208 SF		
LOT COVERAGE			
Maximum Allowed	(50.0 %)	3,604 SF	
Proposed Coverage	(48.5 %)	3,500 SF	
BUILDING COVERAGE			
Maximum Allowed	(45.0 %)	3,244 SF	
Proposed Coverage	(34.7 %)	2,498 SF	

SITE PLAN

SCALE: 1"=30'-0" NC -60 Zoning



WAGNER ARCHITECTURE

54 INDIANA AVENUE
VALPARAISO, IN 46383
TEL. 219-531-2468
FAX. 219-531-0008

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MAY NOT BE MODIFIED, REPRODUCED OR COPIED
IN ANY FORM, OR TRANSFERRED TO ANY THIRD
PARTY WITHOUT THE EXPRESSED WRITTEN
CONSENT OF WAGNER ARCHITECTURE.

DAVIS CARRIAGE HOUSE

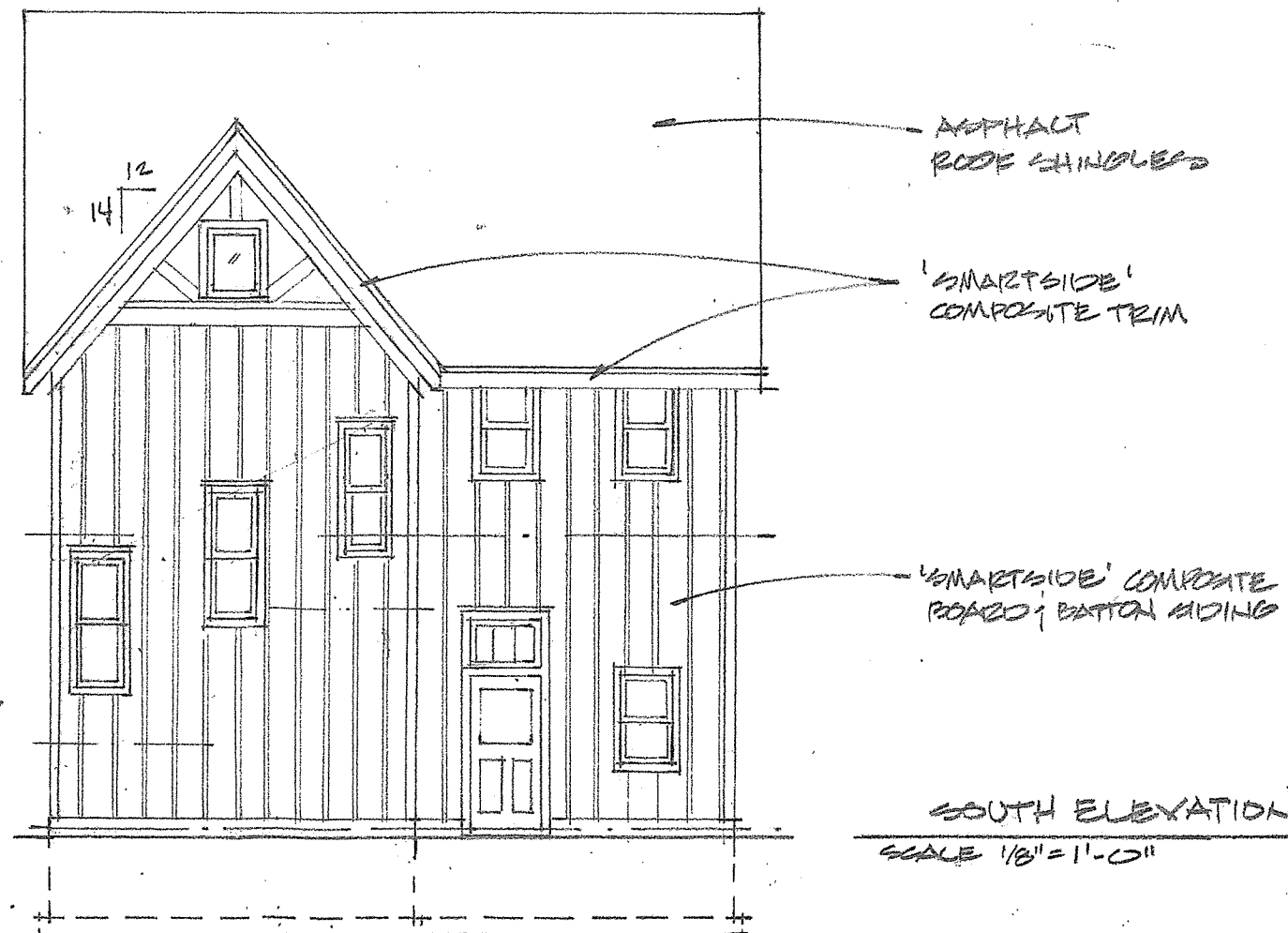
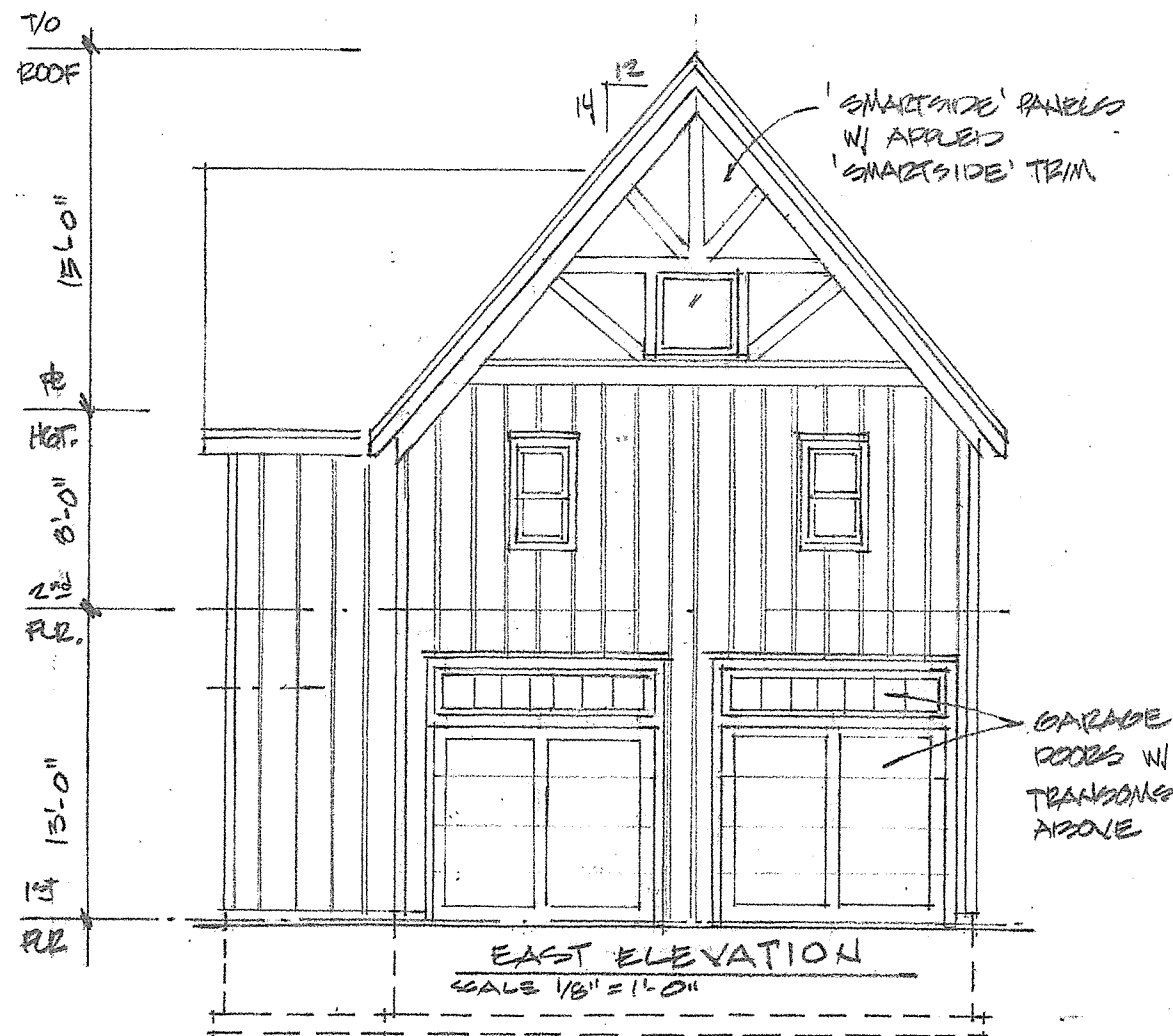
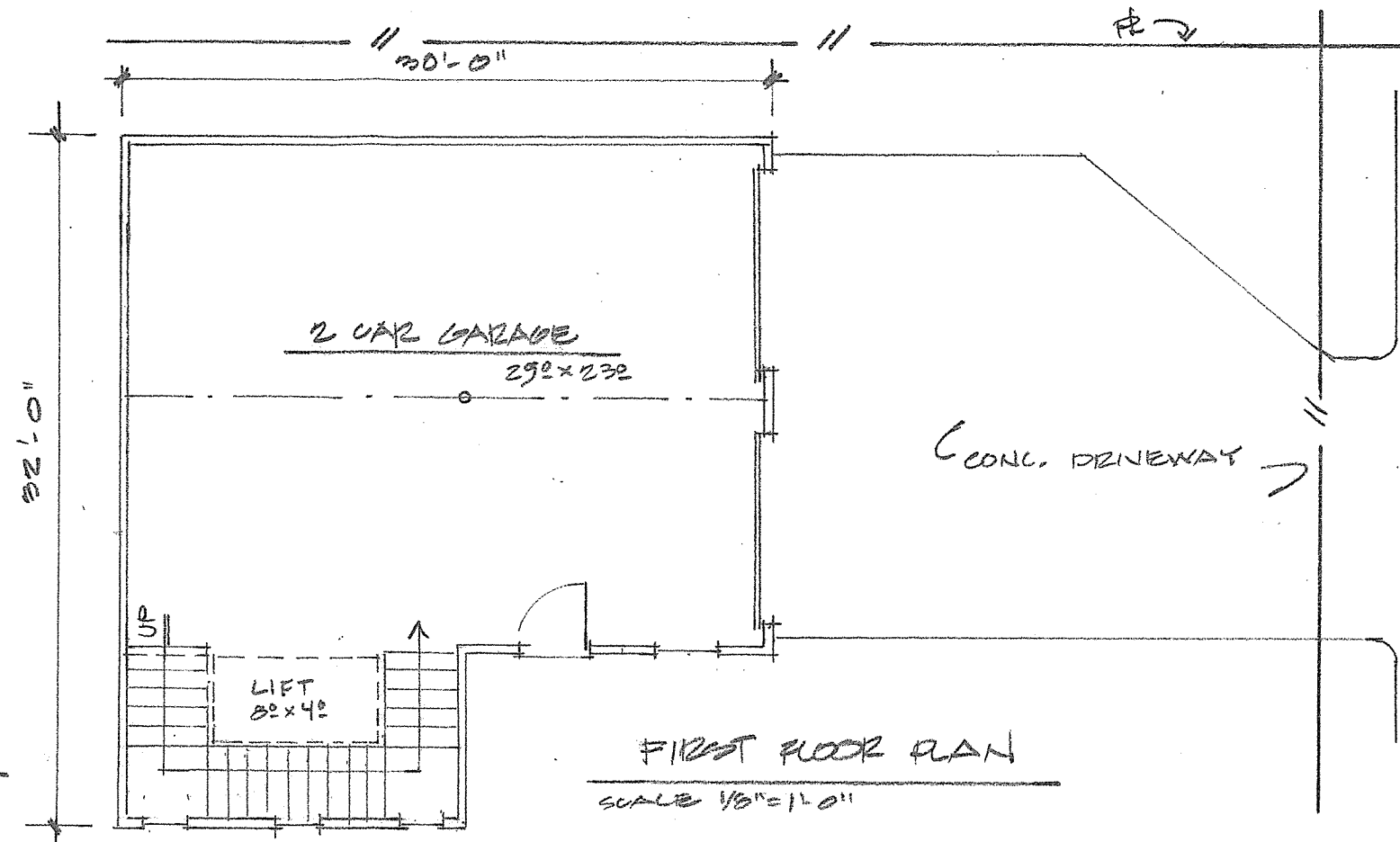
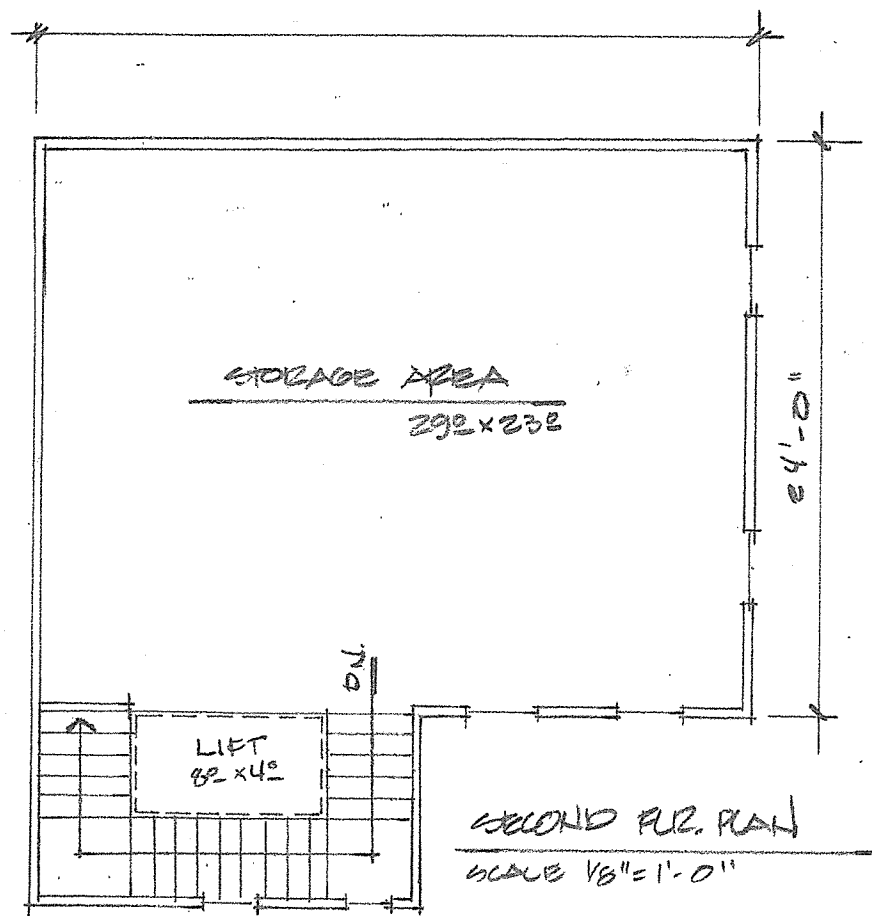
56 CHICAGO STREET
VALPARAISO, IND.

TITLE:

SITE LAYOUT

NO.	DATE	ISSUED FOR
1	3/21/18	AGENCY REVIEW
PROJECT NO. 18.05		SHEET: L. 1
DRAWN BY: jmm		
REVIEWED BY: bhw		
SCALE: 1:30		

DAVIS CARRIAGE HOUSE
500 CHICAGO ST.
VALPARAISO, IN



Petition #: VAD18-005

**PETITION TO
VALPARAISO BOARD OF ZONING APPEALS**

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- ☐ 6. Conditional Use.

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- ☒ Will not affect the use and value of the area adjacent to the property included in the variance in a substantially adverse manner; and arise from practical difficulties in the use of the property in conformity with the Zoning Ordinance.
- ☒ Petitioner will comply with all ordinance parking requirements.

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- ☐ Will not be injurious to the health, safety, morals, and general welfare of the community;
- ☐ Will not affect the use and value of the area adjacent to the property included in the variance in a substantially adverse manner; and arise from practical difficulties in the use of the property in conformity with the Zoning Ordinance.
- ☐ Arise from a condition peculiar to the property;

___ Arises from unnecessary hardships if the Zoning Ordinance is strictly applied; and
___ Does not interfere substantially with the Comprehensive Plan adopted.
___ Petitioner will comply with all ordinance parking requirements.

In Support of an application for **Special Exception**, the Petitioner states that the granting of such request:

___ Will not generate excessive vehicular traffic on minor residential streets;
___ Will not create vehicular parking or traffic problems;
___ Appropriate access roads, drives, utilities, drainage, facilities, and other necessary facilities have been or will be installed;
___ Will make a substantial contribution to the neighborhood environment and will not infringe on the rights of properties in the vicinity of the expected use;
___ Will comply with the requirements of the district in which proposed use is to be located.
___ Petitioner will comply with all ordinance parking requirements.

In support of such application for **Special Exception for Home Occupation**, Petitioner states:

___ That no person other than members of the family residing on the premises will be engaged in the home occupation.
___ That the use of the dwelling unit for home occupation will be clearly incidental and subordinate to its use for residential purposes and not more than 25% of the floor area of the dwelling will be used in the conduct of the home occupation.
___ That there will be no change in the outside appearance of the building or premises, or other visible evidence of the conduct of such home occupation, other than one sign-such sign not exceeding two square feet in area, non-illuminated and containing only the name and nature of the business.
___ That no home occupation will be conducted in any accessory building.
___ That there will be no sales area unless specifically permitted by the BZA.
___ That no traffic will be generated by such home occupation in greater volume than would normally be expected in a residential neighborhood and any need for parking generated by the conduct of such home occupation will be met by required or permitted parking spaces, and will not be in the front yard.
___ That no equipment or process will be used which creates noise, vibration, glare, fumes, odors, or electrical interference detectable to the normal senses which can be detected off premises.

PETITIONER:

Jeff Brown	4701 Airport Drive, Valparaiso, IN 46383	(219) 916-5154
Name (Please Print)	Address	Phone

OWNER OF SUBJECT PROPERTY:

LARKIN LLC	4701 Airport Drive, Valparaiso, IN 46383	(219) 916-5154
Name (Please Print)	Address	Phone

ADDRESS OF SUBJECT PROPERTY: 4711 Airport Drive, Valparaiso, IN 46383
Subject property fronts on the North side between (streets) Airport Drive
in the INH Zoning District.

Legal Description of Subject Property: (Exhibit No.____)

Lot in Airport Industrial Park East, as per plat thereof, recorded in Plat File 51-C-4 as drawing number 2337G, in the Office of the Recorder of Porter County, Indiana.

DESCRIPTION OF PROPOSED PROJECT INCLUDING, NEW CONSTRUCTION, ADDITION, ALTERATION, OR CHANGE OF USE: (Exhibit No.____)

Vacant site will be proposed as a new warehouse facility for the use of Two Men and a Truck, of which is located on the lot West of subject parcel.

Section (3) of the Zoning Ordinance from which a Variance, Special Exception, or Administrative Relief is sought:

Article: 11 Section: 305 Paragraph: I Item: a
:_____ :_____ :_____ :_____
:_____ :_____ :_____ :_____

Attach a Site Plot Plan drawn to scale showing:

- a. scale
- b. lot: shape, location, dimension, and area
- c. existing improvements on the lot (including, structures, sidewalks, & driveways) and the percent coverage of improvements on the lot
- d. distance for lot lines, right-of-way lines, or easements to any structure for: front, back and side yards

Please fill in: Proposed Setbacks:

Front Setback 26' Rear Setback 35' Side Setbacks 56.4'/ 99.5' Lot Coverage 37%
Height 29'

Setbacks per UDO: Front Setback 65' Rear Setback 15' Side Setbacks 10'/10' Lot Coverage 75% Height 35'

The powers and duties of the Board of Zoning Appeals are provided for and limited by Enabling Acts in Indiana Code 36-7-4-900 et. eq.. The public hearing procedures are similar to a courtroom hearing. Although it is not required that the Petitioner represented by legal counsel, information and documentation pertaining to the petitioner should be prepared as if it were to become part of a court hearing. **Although the office of the City Planner is available to assist the Petitioner, it is the Petitioner's responsibility to request and prepare the appropriate variance petition.** The Planning Department can be contacted Monday-Friday between 8:30 – 4:30 at (219) 462-1161.

Petitions will not be scheduled for public hearing unless all legal and procedural requirements have been met.

STAFF USE ONLY

Date Received _____

- ☐ Names and Addresses of property owners within 300 feet provided
- ☐ Signature notarized
- ☐ Site Plan attached
- ☐ Legal Description (Not Abbreviated) Provided
- ☐ Petition Filed Complete
- ☐ Written Description of Project
- ☐ Petitioners Affidavit of Notice
- ☐ Findings of Fact
- ☐ Photo's of Property (Staff Request)
- ☐ Landscape Plan (Staff Request)

Date approved for Public Hearing _____, _____

BZA Application Fees

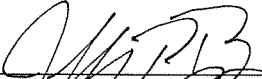
☐ Use Variance	\$200
☐ Single Family Development Standards Variance	\$50
☒ Commercial Development Standards Variance	\$150
☐ Special Exception/Special Use	\$200
☐ Relief to an Administrative Decision	\$200
☐ Special Meeting	\$1000
☐ Conditional Use	\$100
☐ Wireless Communications Facility Special Use – Major	\$500
☐ Wireless Communications Facility RF Tech Study Fee	\$ Actual cost of study

TOTAL FEE \$150.00

Certificate of Petitioner

Please read and sign the following statement:

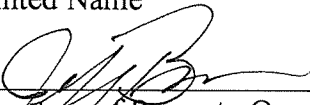
I, the Petitioner (and Property Owner, if separate), understand that I and/or my representative must be present at the public hearing. Should I fail to appear, the BZA, in my absence, may consider and take action on my Petition. If the Petitioner is not the owner of the property that is the basis of this Petition, the signature of the Property Owner(s) constitutes authorization for the Petitioner to speak and act on behalf of the Property Owner(s). The Petitioner certifies that neither the Petitioner nor any attachments or exhibits submitted contains any known intentional misrepresentations or intentionally misleading statements. All information submitted is accurate, true and correct to the best of the Petitioner's knowledge. The providing of false and/or inaccurate information on this Petition or during any proceedings before the BZA may result in the denial of the request or the revocation of the request, should a Petition be granted. Similarly, if as part of any granted Petition, the BZA places any restrictions and/or limitations, I acknowledge that my failure to comply with such restrictions/limitations shall be grounds to revoke any granted Petition. The Petitioner acknowledges that it bears the obligation to mail notice of any Public Hearing to all property owners within 300 feet of the property that is the subject of this Petition. Any errors by the Petitioner may result in the Petition being delayed, denied or revoked.



Signature of Petitioner

Jeff Brown

Printed Name



Signature of Property Owner

Signature of Property Owner

Subscribed and sworn to before me, a Notary in and for said County and State, personally appeared: Jeff Brown, and acknowledge the execution of the foregoing document, this 14 day of March, 2018.

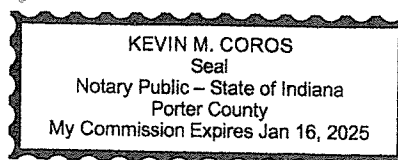


NOTARY PUBLIC

My Commission Expires: 01/16/2025
Resident of Porter County

Kevin Coros

Type or Print name of Notary

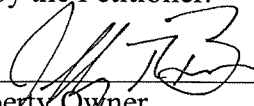


Affidavit of Consent of Property Owner

(To be presented with application for Board of Zoning Appeals)

Jeff Brown, being dully sworn upon his/her oath, being of sound mind and legal age deposes and states:

1. That LARKIN LLC ("Owner") (is/are) the legal owner(s) of real property that is the subject of a Petition before the BZA.
2. That Owner authorizes Jeff Brown ("Petitioner") to seek the relief sought in the Petition filed before the BZA. Petitioner is further authorized to commit to any reasonable restriction requested by the BZA or proposed by the Petitioner.

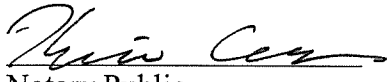

Property Owner

3-14-18
Date

Property Owner

Date

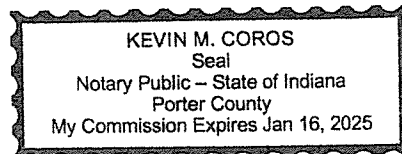
Subscribed and sworn to before me this 14 day of March, 2018.


Notary Public

My Commission:

01/16/2025

Date



**NOTICE OF PUBLIC HEARING
CITY OF VALPARAISO BOARD OF ZONING APPEALS**

Dear Property Owner:

This letter is to notify that the City of Valparaiso Board of Zoning Appeals will conduct a public hearing on Petition Number _____ on the 17th day of April, 2018 at 7:00 p.m. at Valparaiso City Hall, 166 Lincolnway, City Council Chambers, to consider a request for Board of Zoning Appeals action (insert action here)_____.

The petitioner for the requested action is Jeff Brown of the (address here) 4701 Airport Drive, Valparaiso, IN 46383.

The property is located in the Heavy Industrial Zoning District. The subject parcel is located at (Address or Location) 4711 Airport Drive, Valparaiso, IN and includes the following tract of land:

Legal Description

(Please type the street address and legal description here or attaché to the letter)

You are sent this notice as a property owner within 300 feet of the parcel. Your view on this petition may be submitted in writing to the Planning Director, or you will be given an opportunity to be heard at the above-mentioned time of the Public Hearing. All interested parties are invited to attend. To review the petition and detailed site plans, please contact the Planning Department between 8:30 a.m. and 4:30 p.m. Monday through Friday.

Correspondence to:

Tyler Kent, Planning Director

City of Valparaiso

166 Lincolnway

Valparaiso, IN 46383

Phone: (219) 462-1161 Fax: (219) 464-4273

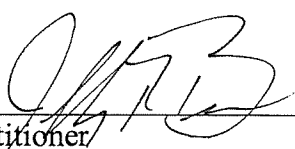
Email: tkent@valpo.us

(all electronic mail must include name, address, and telephone number)

Respectfully,

Jeff Brown

Petitioner



Petitioner

SURROUNDING PROPERTY OWNER LIST

List the name and address of all property owners who have received notification below
(Use Additional Sheets if Necessary):

(Please Print)

[illegible]

Variance from Development Standards
Findings of Fact
(Please Print)

Petitioner submits that:

A. The proposed variance from the Development Standards will not be injurious to the public health, safety, morals, and general welfare of the community because: _____

The relocation of the desired setback is consistent within the designated subdivision

as well as the previously approved subdivision plat.

B. The use and value of the area adjacent to the property included in the proposed variance will not be affected in a substantially adverse manner because: _____

The adjacent properties already conform closely to the variance being sought.

C. The strict application of the terms of the zoning ordinance will result in particular difficulties in the use of the property included in the proposed variance because: _____

The required 65-foot setback is above and beyond the already established standard

of the subdivision. The proposed setback will be requested at 25'

The Petitioner carries the burden of proving to the Board of Zoning Appeals the existence of each and every one of the elements listed above.

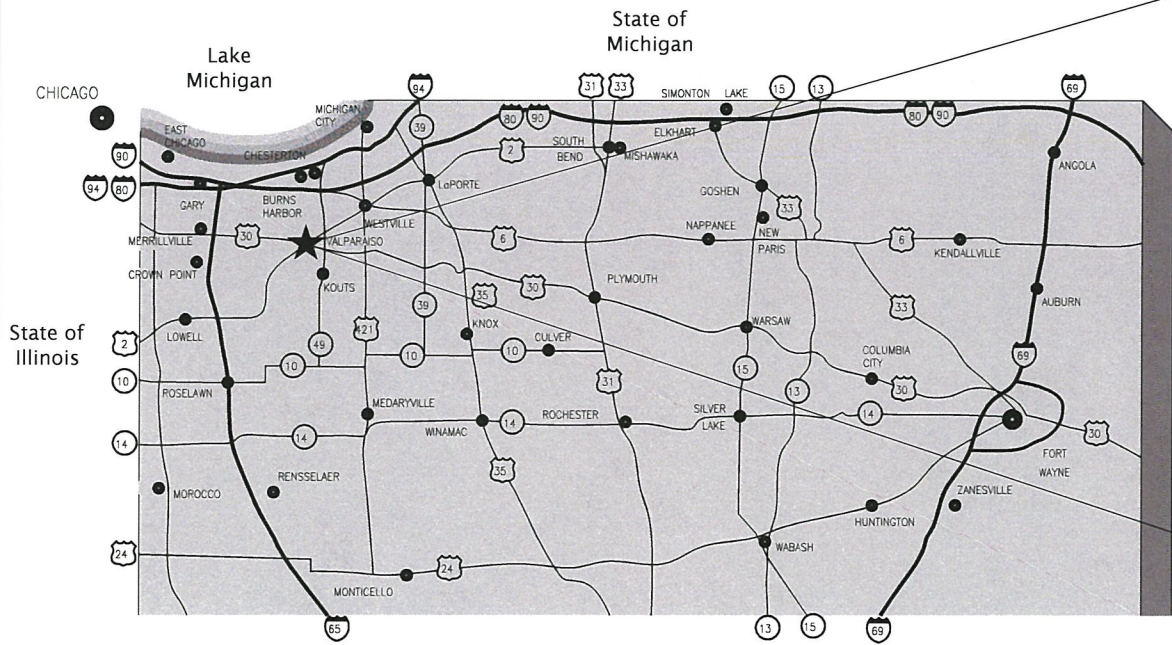
Two Men and a Truck - Building Site Plan

Airport Industrial Park East – Lot 8, City of Valparaiso, Indiana

Property Address
4711 Airport Drive, Valparaiso, Indiana 46383

Legal Description
Lot 8 in Airport Industrial Park East, as per plat thereof, recorded in Plat File 51-C-4 as drawing Number 23376, in the Office of the Recorder of Porter County, Indiana.

Flood Hazard Statement
The accuracy of any flood hazard data shown on this report is subject to map scale uncertainty and to any other uncertainty in location or elevation on the referenced Flood Insurance Rate Map. All of the within described land appears to lie within special flood hazard zone 'X' as said tract plots by scale on community-panel # 18127C02100 of the flood insurance rate maps for City of Valparaiso (maps dated September 30, 2015).



Northern Indiana



Site Location Map

Sheet Index	
Sheet	Description
C1.0	Proposed Building Site & Utility Plan
C2.0	Proposed Drainage & Grading Plan
C3.0	Proposed Erosion Control Plan
C4.0	Proposed Landscape Plan
C5.0	Site Detail Specifications
C6.0	Site Detail Specifications
C7.0	Site Technical Specifications

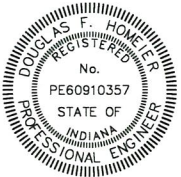
Engineer / Surveyor

McMahon Associates, Inc.
952 South State Road 2
Valparaiso, Indiana 46385
mcm@mcmgrp-in.com
Tel: (219) 462-7743

Owner / Developer

Two Men and a Truck
Mr. Jeff Brown
4701 Airport Drive
Valparaiso, Indiana 46383
jeff.brown@twomen.com
Tel: (219) 916-5154

Douglas F. Homeier



PROJECT NUMBER: T0554-5-17-00286 DATE: FEBRUARY 27, 2018

McMAHON
ENGINEERS ARCHITECTS
952 South State Road 2
Valparaiso, Indiana 46385
Tel: (219) 462-7743 Fax: (219) 464-8248
mcm@mcmgrp-in.com



Proposed Building Site & Utility Plan

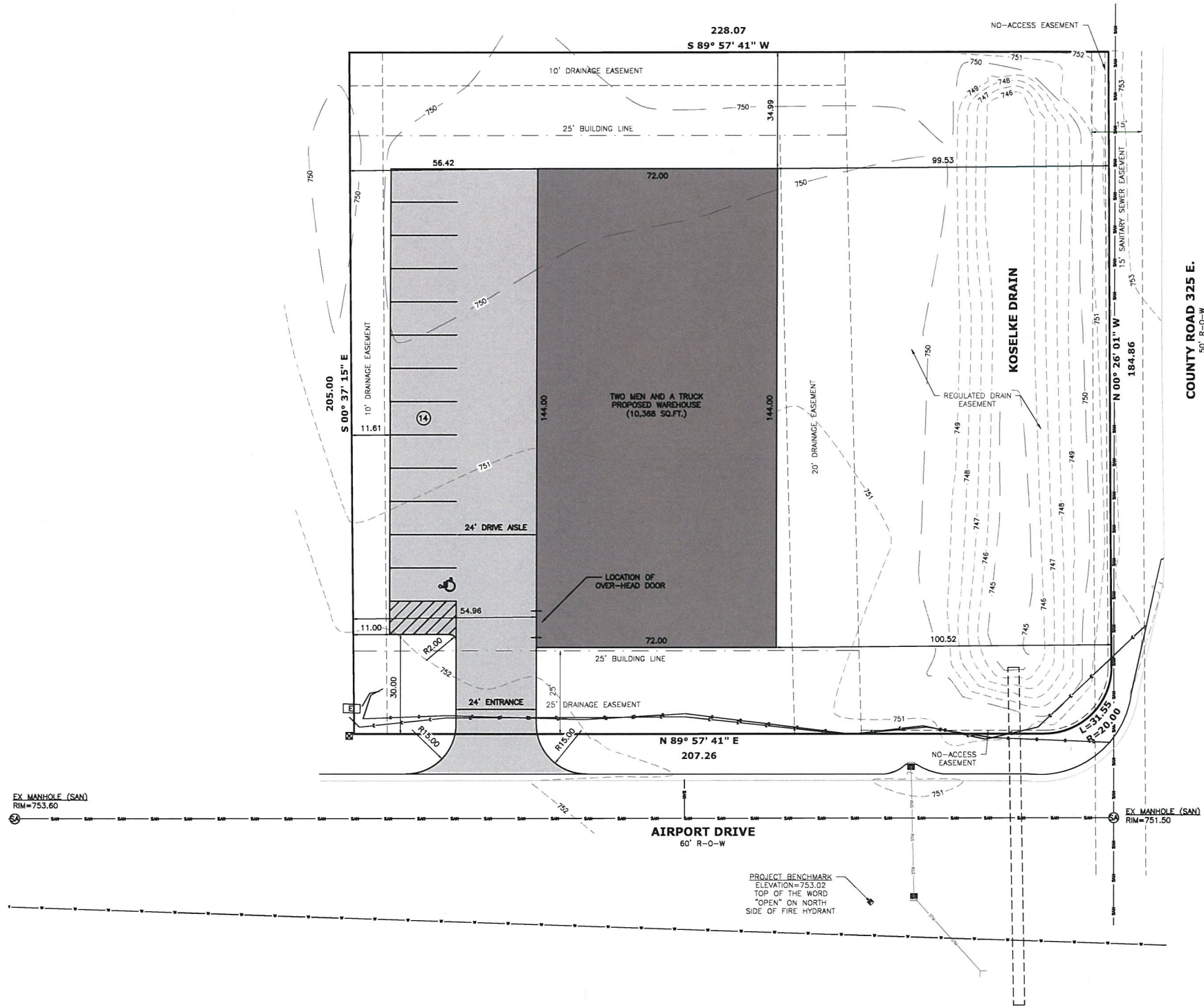
20 10 0 20
Scale - Feet

Existing Site Notes

1. Basis of Bearing: Bearings were held per Subdivision Plat by Bengel Engineering & Surveying.
2. Flood Hazard Statement: The accuracy of any flood hazard data shown on this report is subject to map scale uncertainty and to any other uncertainty in location or elevation on the referenced flood insurance rate map. All of the within described land appears to lie within special flood hazard zone 'X' as said tract plots by scale on community-panel #18127002100 of the flood insurance rate maps for City of Michigan City (maps dated September 30, 2015).
3. No wetlands exist on this property per Indiana GIS.
4. For erosion and sediment control, contact developer.
5. If disturbed area of property is to reach 1 acre or more, a Stormwater Pollution Prevention Plan (SWPPP) will be required to be submitted and approved by the City of Valparaiso (not anticipated).
6. Lots in subdivision must meet the minimum lot size and setback requirements of the zoning district in which it is located: Subject Property is INH - Heavy Industrial (this particular area is governed by the Route 30 (Northland Drive) Signature Corridor Overlay District)
Front Yard Setback: 25' (minimum)
Side Yard Setback: 10' (minimum)
Rear Yard Setback: 15' (minimum)
Landscape Ratio: 0.25
7. Parking Standards:
Required (based on Warehouse and Transportation)
General - 1 Space / 1,000 ft²
(10,368 sq.ft./1000) x 1 = 10.368 = 11 stalls
- 1.5 Space / Bay
(1 Bay * 1.5) = 1.5 stalls
Total Stalls: 12.5 = 13
Provided
Regular Stalls: 12
Handicap Stalls: 1
Total Stalls: 13
8. Area Information (with future building included):
Site Area: 46,596.04 sq.ft. (1.07) Acres
Impervious Area: 17,249.45 sq.ft. (37%)
Green Area: 29,346.59 sq.ft. (63%)
9. The utilities shown in plan are indicated in accordance with available records. The contractor shall be responsible for obtaining exact locations and elevations of all utilities, including any private utilities, from the owners of the respective utilities. All utilities shall be notified 72 hours prior to excavation.
10. Prior to construction, the contractor shall verify proposed site grades by field checking two (2) benchmarks and a minimum of one (1) site feature as shown on these plans. The contractor shall immediately notify McMAHON of any vertical discrepancy.
11. Site is grass covered (with pond) and currently vacant of buildings.
12. Site/proposed building will not utilize sanitary or water connections.

Existing Site Legend	
Benchmark	◆
Catch Basin/Inlet	■
Electrical Box	Ⓛ
Electrical Line	—E—
Gas Line	—G—
Manhole (sanitary)	Ⓢ
Sanitary Line	—SAN—
Storm Culvert	—SC—
Storm Line	—STM—
Telephone Pedestal	Ⓢ

Proposed Site Legend	
Asphalt	■
Building	■
Concrete	■
Handicap Stall	♿
Pavement Radii	R1.00
Sanitary Lateral	---
Water Lateral	---



Douglas F. Homan



McMAHON
ENGINEERS ARCHITECTS
952 South State Road 2
Valparaiso, Indiana 46385
Tel: (219) 462-7743 Fax: (219) 464-8248
mcm@mcgrp-in.com

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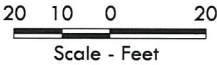
NO.	DATE	REVISION

Airport Industrial Park East - Lot 8
4711 Airport Drive, Valparaiso, Indiana 46383
Proposed Building Site & Utility Plan

DESIGNED DFH	DRAWN KMC
PROJECT NO. T0554-5-17-00286	
DATE 02/27/2018	
SHEET NO. C1.0	



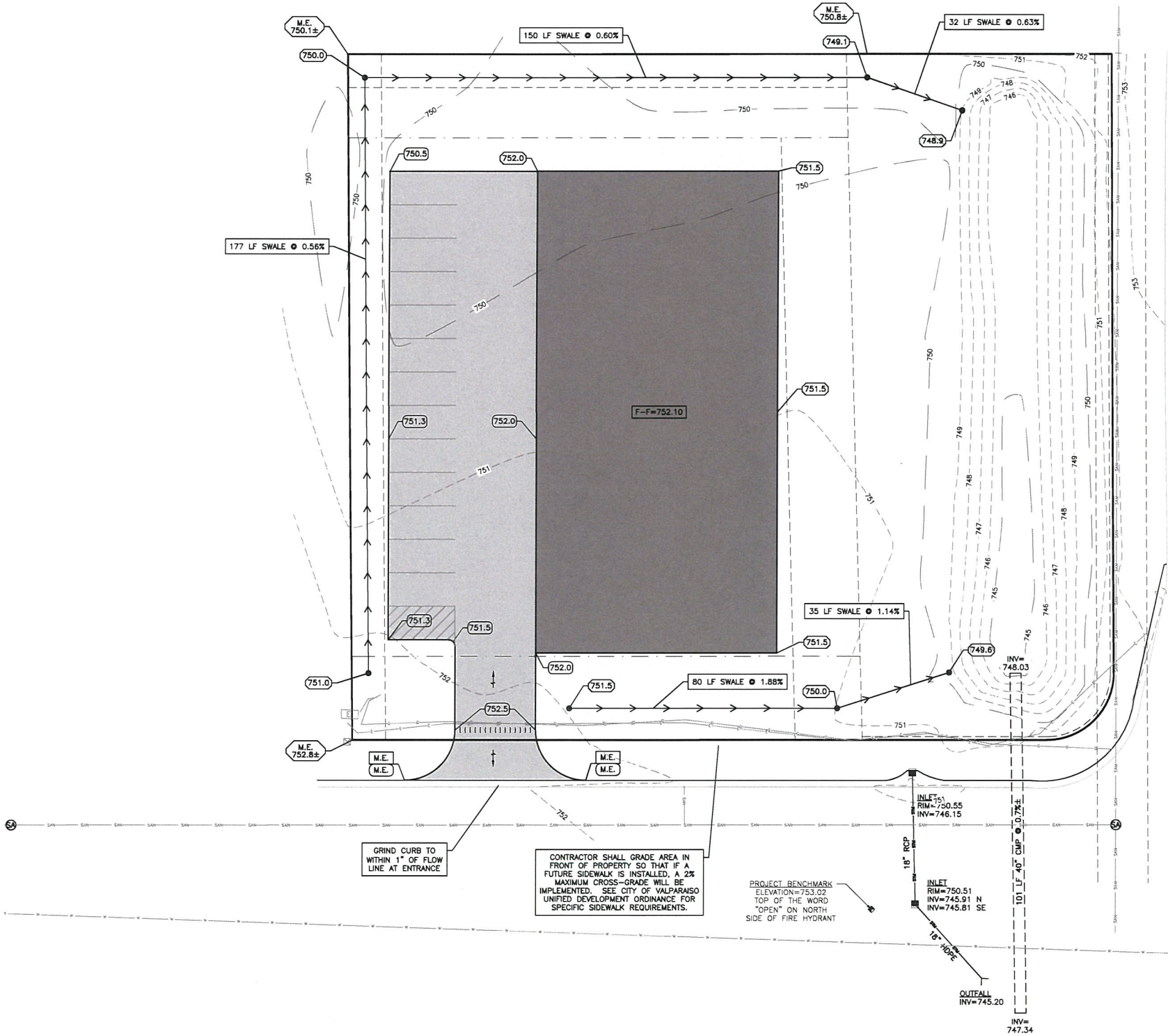
Proposed Drainage & Grading Plan



Drainage & Grading Notes

1. Project topography and elevations per field work performed December 2017.
2. Underground structures, piping, and utilities are shown for informational purposes based on available information. The contractor shall be responsible for locating all underground utilities and verifying the location of underground structures and piping during construction. Contractor to coordinate utility tie-in with local utility companies.
3. All work shall be performed in accordance with all local, state and federal codes.
4. The contractor shall obtain all necessary permits for construction.
5. Timely notification of necessary governmental agencies regarding the commencement of construction activity is required.
6. All work performed on the site shall conform to the site construction plans and specifications.
7. All necessary inspections and certifications, as required by ordinance, code, utility companies or government agencies shall be completed before the final connection of services.
8. See architectural drawings for downspout piping.
9. Site utilizes existing drainage swales that were set in place per original engineering for subdivision.

Drainage & Grading Legend	
Drainage Flow	→
Elevation - Asphalt Pavement	(100.0)
Elevation - Finished Floor	F-F=100.0
Elevation - Concrete	[100.0]
Elevation - Ground	○100.0



Douglas F. Homeier



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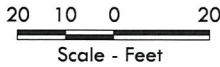
NO.	DATE	REVISION

Airport Industrial Park East - Lot 8
4711 Airport Drive, Valparaiso, Indiana 46383
Proposed Drainage & Grading Plan

DESIGNED DFH	DRAWN KMC
PROJECT NO. T0554-5-17-00286	
DATE 02/27/2018	
SHEET NO. C2.0	



Proposed Erosion Control Plan



Erosion Control Site Notes

1. Permanently seed all final grade areas (e.g., landscape berms, drainage berms, drainage swales, erosion control structures, etc.) as each is completed and all areas where additional work is not scheduled for a period of more than a year. Seeding: optimum seeding dates are March 1 – May 10 and August 10 – September 30. Seeding dates between May 10 – August 10 may need to be irrigated. For seeding recommendations see practice 3.12, Indiana Stormwater Quality Manual.
2. Mulch to prevent erosion. Apply mulch at the rate specified in the Indiana Stormwater Quality Manual.
3. The sedimentation control measures depicted on this plan are for temporary control during construction of the buildings, ponds, swales, roadways, and other general excavation required for this development. Permanent measures to inhibit erosion are as follows:
 - a. Hydroseeding, sodding or mechanical seeding of all depressions during the growing season.
 - b. Placement of permanent landscaping features, such as groundcover, turf, trees, and shrubs in accordance with the Landscape Plan after site excavation is completed and final grade is established.
 - c. 100 square feet of 6" diameter or larger limestone rip-rap shall be installed and maintained at all storm water conveyance outlets (if applicable). Install rip-rap over extra strength filter or landscape fabric (if necessary).
7. Erosion from all temporary soil storage piles shall be controlled by placing filter fence and/or other appropriate means of sedimentation control around these storage facilities.
8. Except as prevented by inclement weather conditions or other conditions or circumstances beyond control, appropriate vegetative sedimentation control practices shall be initiated within seven (7) days of the last land disturbing activity at the site. Appropriate vegetative practices include, but are not limited to, seeding, sodding, mulching, covering, or other erosion control measures.
9. Sediment accumulation onto off site roadways shall be minimized, and where necessary, kept cleared periodically. Bulk clearing of accumulated sediment shall be returned to the point of likely origin or other suitable on site location(s).
10. Appropriate measures shall be taken to minimize or eliminate wastes, unused building materials, and/or other substances from being carried from the site by storm water runoff. Proper disposal or management of all wastes, appropriate to the nature of the waste, is required.
11. See sediment control details for acceptable methods of installation of erosion control structures.
12. See seasonal soil protection chart for suggested schedule of vegetative soil stabilization methods.
13. Schedule of all erosion control measures are to be implemented and maintained weekly during each phase of construction.
14. Developer to maintain silt fence around building during construction and install permanent seeding when complete.
15. All appropriate erosion control measures shall be implemented in accordance with all applicable requirements and standards of the City of Valparaiso.
16. All spoils are to remain onsite and utilized during the course of construction. Owner/Developer is to be responsible for spoils being hauled offsite. Owner/Developer is to track the amount of soil given or sold to each individual/company and the location at which the spoils will be used. If at any time spoils from subject site is used to disturb more than one (1) acre on any other site, that individual/company is responsible for establishing a Rule 5 permit.

Post-Construction Storm Water Pollution Prevention Plan

1. After construction is completed, including buildings, parking lots constructed, and landscaping, the property owner will take possession of the property. When the property becomes occupied, it is no longer the responsibility of the developer/contractor to maintain the site. The responsibility for maintaining the permanent erosion and sediment control measures belongs to the current owner/s of the property. Pollutants associated with the proposed land use will most likely be very typical of commercial/retail developments. Most expected pollutants will be associated with automobiles: oil, grease, antifreeze, brake dust, rubber fragments, gasoline, diesel fuel, metals, and improper disposal of trash. It is the responsibility of the property owner/s or owners association to provide routine maintenance. Some maintenance items may include trimming vegetation, picking up litter, monitoring and cleaning catch basins, pond outlet structure and culverts. The sediment control basins protecting the storm water quality of the site will require periodic cleaning of sediments that accumulate. After vegetation has been established, temporary erosion and sediment control measures such as silt fence and straw bales will be removed by the installing contractor.
2. The post-construction storm water quality measures will be installed as a part of the normal construction activities for the site. They shall be fully operational, and complete at the completion of construction.
3. All storm water run-off shall be controlled by the vegetation constructed as part of these engineering plans. The storm water quality measures associated with the vegetation shall minimize the pollutants from storm water run-off and therefore minimize adverse impacts to the receiving streams and riparian habitats.
4. Green spaces – The green space areas of the site should receive routine mowing and trimming.

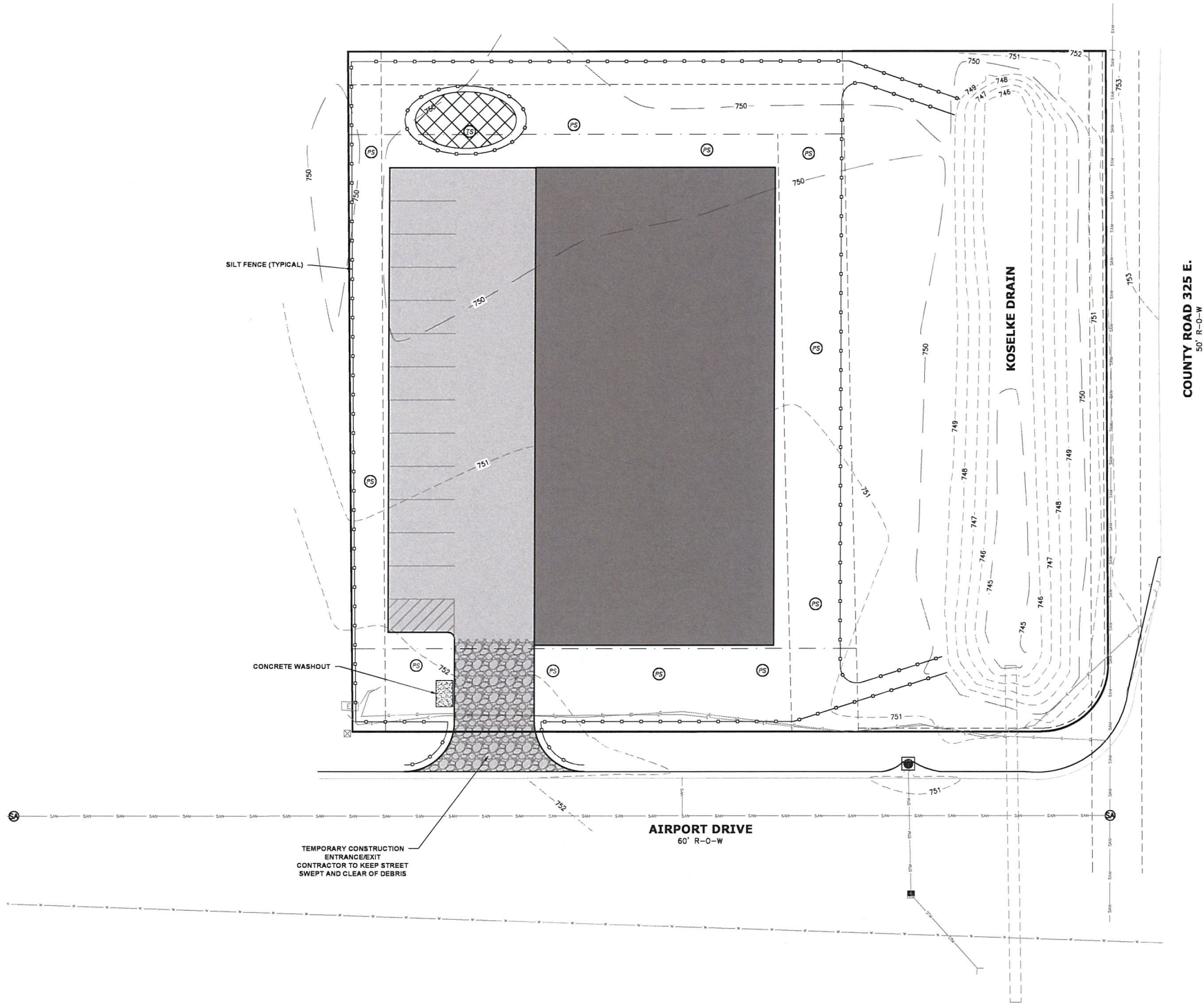
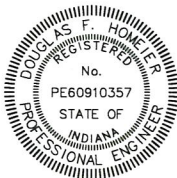
Storm Water Pollution Prevention Legend	
Concrete Washout	
Inlet Protection Basket	
Permanent Seeding	
Silt Worm	
Temporary Graven Entrance/Exit	
Temporary Seeding	
Topsoil (salvage & utilization)	
~If stockpile is left for more than 15 days, it is to be temporary seeded	

Operating Authority
Two Men and a Truck
Mr. Jeff Brown
4701 Airport Drive
Valparaiso, Indiana 46383
(219) 916-5154

Developer / Owner
Two Men and a Truck
Mr. Jeff Brown
4701 Airport Drive
Valparaiso, Indiana 46383
(219) 916-5154

Design Company
McMAHON Engineers/Architects
952 S. State Road 2
Valparaiso, Indiana 46385

Douglas F. Homan



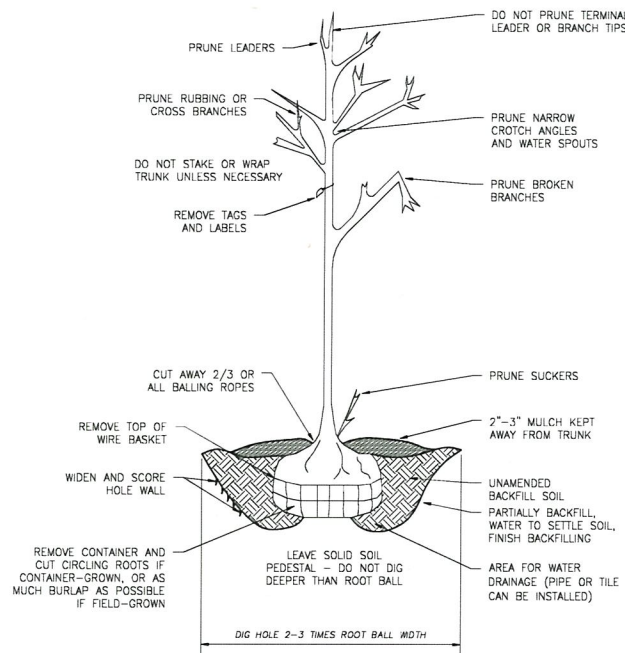
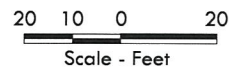
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NO.	DATE	REVISION

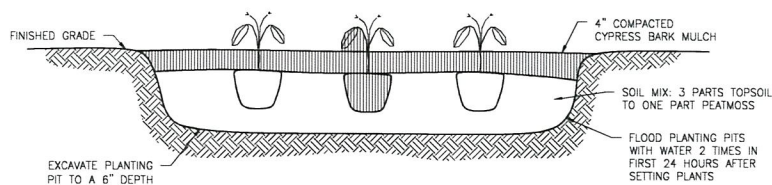
Airport Industrial Park East – Lot 8
4711 Airport Drive, Valparaiso, Indiana 46383
Proposed Erosion Control Plan

DESIGNED DFH	DRAWN KMC
PROJECT NO. T0554-S-17-00286	
DATE 02/27/2018	
SHEET NO. C3.0	



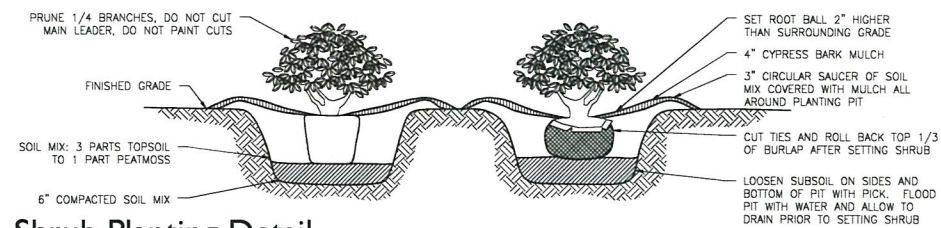
Tree Planting Detail

NOT TO SCALE



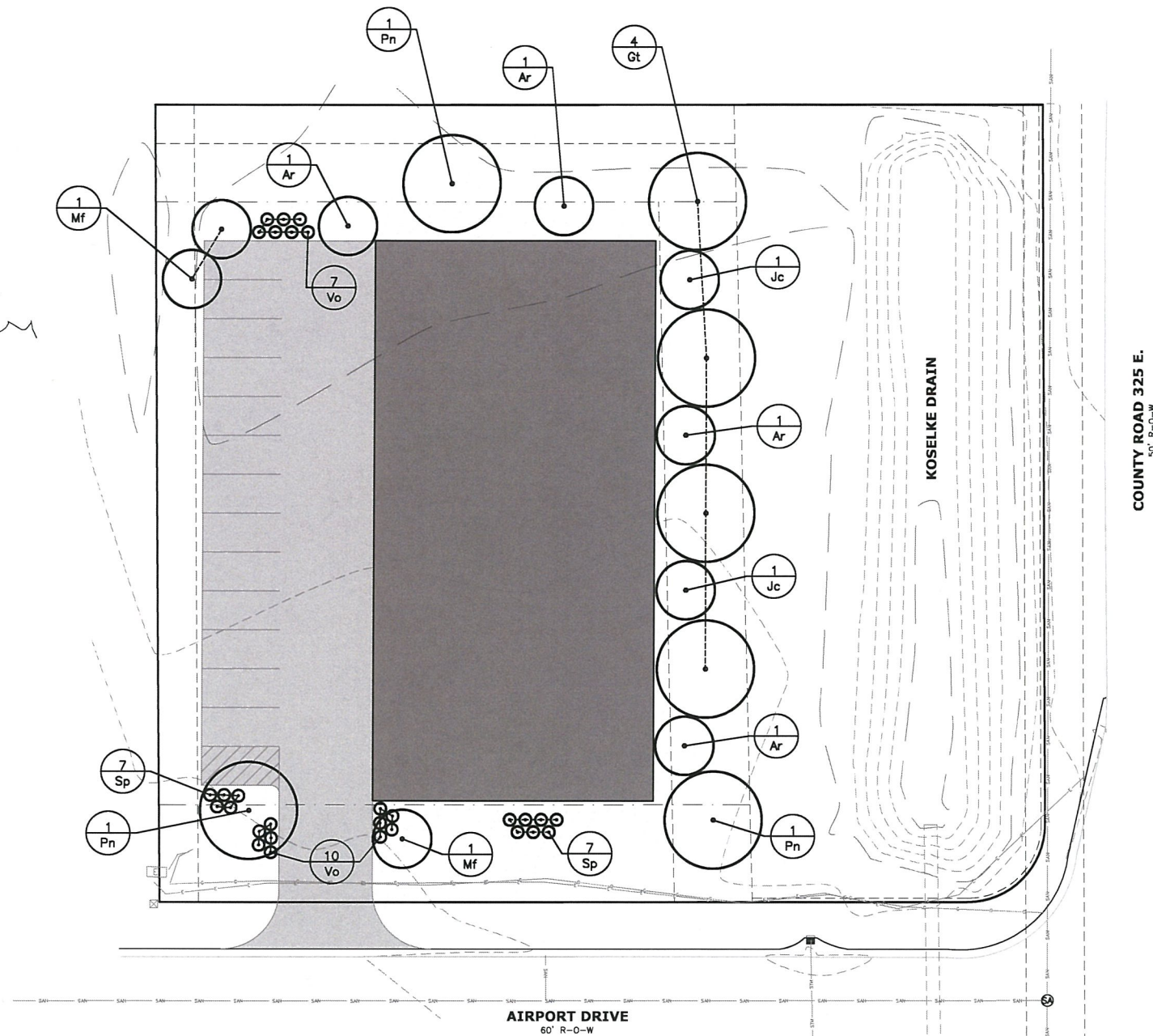
Groundcover and Perennial Planting Detail

NOT TO SCALE



Shrub Planting Detail

NOT TO SCALE



Landscape Notes & Standards

1. Landscape Plan, requirements, and standards are provided by Hubinger Landscaping Corporation
2. Requirements:
 - On-lot Landscape
 - Large Trees 4/Acre * 0.71 = 2.84=3
 - Small Trees 8/Acre * 0.71 = 5.68=6
 - Shrubs 25/Acre* 0.71 = 17.8=18
 - Parking Lot
 - Large Trees 1/4stalls * 6 = 1.67=2
 - Shrubs 1/2stalls * 6 = 3
 - Open Space
 - Large Trees 10/Acre * 0.18 = 1.8=2
 - Small Trees 15/Acre * 0.18 = 2.7=3
 - Shrubs 40/Acre * 0.18 = 7.2=8
 - Berm or Wall N/A
3. Provided:
 - Trees (large): 7
 - Trees (small): 9
 - Shrubs: 29

Plant Schedule				
Type	Latin Name	American Name	Description	Number
Large Trees				
Gt	Gleditsia triacanthos	Thornless Honey Locust	3" Caliper Balled and Basket	
Pn	Pinus nigra	Black Pine	3" Caliper Balled and Basket	
Medium/Small Trees				
Ar	Acer rubrum	Red Maple	2" Caliper Balled and Basket	
Jc	Juniperus chinensis 'Blue Point'	Blue Point Juniper	3'-4" Caliper Balled and Basket	
Mf	Malus florabunda	Japanese Flower Crab	2" Caliper Balled and Basket	
Bushes and/or Shrubs				
Sp	Syringa pubescens	Miss Kim Lilac	2 Gallon Containerized	
Vo	Viburnum opulus var nanum	Compact European Cranberry Bush	2 Gallon Containerized	
Grass				
Grass	—	Kentucky Blue Grass	75% Kentucky Blue Grass 25% Perennial Type 5 lbs./1,000 ft²	N/A
Mulch				
Mulch	—	Cypress	—	N/A
Mulch	—	Walnut	—	N/A

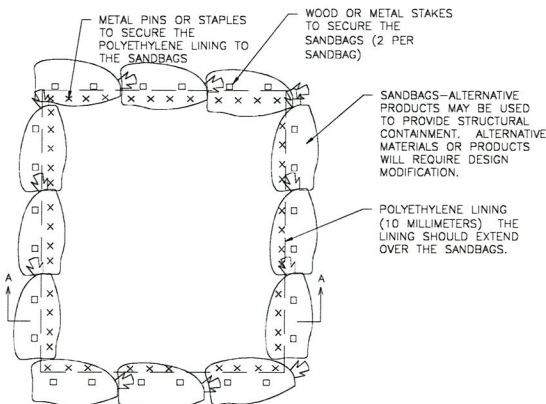
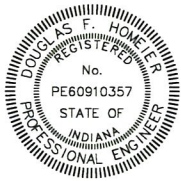
McMAHON
ENGINEERS ARCHITECTS
952 South State Road 2
Valparaiso, Indiana 46385
Tel: (219) 462-7743 Fax: (219) 464-8248
mem@mcmgp-in.com

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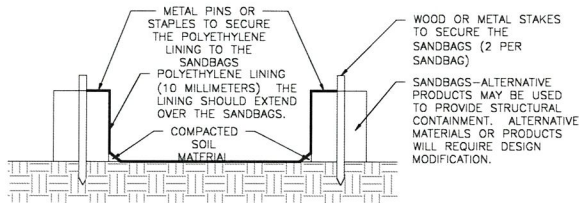
Airport Industrial Park East – Lot 8
4711 Airport Drive, Valparaiso, Indiana 46383
Proposed Landscape Plan

DESIGNED DFH	DRAWN KMC
PROJECT NO. 0554-5-17-00286	
DATE 02/27/2018	
SHEET NO. C4.0	

Douglas F. Homier



ABOVE GRADE CONCRETE WASHOUT



SECTION A-A

NOTE: SIZE OF WASHOUT IS TO BE 10'x10' MINIMUM

LOCATION

- LOCATE CONCRETE WASHOUT SYSTEMS AT LEAST 50 FEET FROM ANY CREEKS, WETLANDS, DITCHES, KARST FEATURES, OR STORM DRAINS/MANMADE CONVEYANCE SYSTEMS.
- LOCATE CONCRETE WASHOUT SYSTEMS IN RELATIVELY FLAT AREAS THAT HAVE ESTABLISHED VEGETATIVE COVER AND DO NOT RECEIVE RUNOFF FROM ADJACENT LAND AREAS.
- LOCATE AWAY FROM OTHER CONSTRUCTION TRAFFIC IN AREAS THAT PROVIDE EASY ACCESS FOR CONCRETE TRUCKS.

MATERIALS

- MINIMUM OF TEN MILLIMETER POLYETHYLENE SHEETING, FREE OF HOLES, TEARS, AND OTHER DEFECTS.
- ORANGE SAFETY FENCING OR EQUIVALENT.
- SANDBAGS
- METAL PINS OR STAPLES SIX INCHES IN LENGTH MINIMUM.

INSTALLATION

- A BASE SHALL BE CONSTRUCTED AND PREPARED THAT IS FREE OF ROCKS AND OTHER DEBRIS THAT MAY CAUSE TEARS OR PUNCTURES IN THE POLYETHYLENE LINING.
- INSTALL THE POLYETHYLENE LINING. FOR EXCAVATED SYSTEMS, THE LINING SHOULD EXTEND OVER THE ENTIRE EXCAVATION. THE LINING FOR BERMED SYSTEMS SHOULD BE INSTALLED OVER THE POOLING AREA WITH ENOUGH MATERIAL TO EXTEND THE LINING OVER THE BERM OR CONTAINMENT SYSTEM. THE LINING SHOULD BE SECURED WITH PINS, STAPLES, OR OTHER FASTENERS.
- PLACE FLAGS, SAFETY FENCING, OR EQUIVALENT TO PROVIDE A BARRIER TO CONSTRUCTION EQUIPMENT AND OTHER TRAFFIC.
- INSTALL SIGN THAT IDENTIFIES CONCRETE WASHOUT AREAS.
- WHERE NECESSARY, PROVIDE STABLE INGRESS AND EGRESS OR ALTERNATIVE APPROACH PAD.

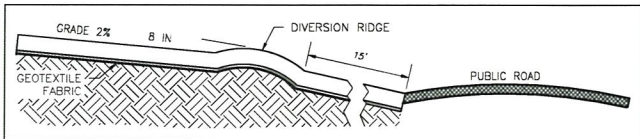
COMMON CONCERNS

- COMPLETE CONSTRUCTION/INSTALLATION OF THE SYSTEM AND HAVE WASHOUT LOCATIONS OPERATIONAL PRIOR TO CONCRETE DELIVERY.
- IT IS RECOMMENDED THAT WASHOUT SYSTEMS BE RESTRICTED TO WASHING CONCRETE FROM MIXER AND PUMP TRUCKS AND NOT USED TO DISPOSE OF EXCESS CONCRETE OR RESIDUAL LOADS DUE TO POTENTIAL TO EXCEED THE DESIGN CAPACITY OF THE WASHOUT SYSTEM.
- INSTALL SYSTEMS AT STRATEGIC LOCATIONS THAT ARE CONVENIENT AND IN CLOSE PROXIMITY TO WORK AREAS AND IN SUFFICIENT NUMBER TO ACCOMMODATE THE DEMAND FOR DISPOSAL.
- INSTALL SIGN IDENTIFYING THE LOCATION OF CONCRETE WASHOUT SYSTEMS.

MAINTENANCE

- INSPECT DAILY AND AFTER EACH STORM EVENT.
- INSPECT THE SYSTEM FOR LEAKS, SPILLS, AND TRACKING OF SOIL BY EQUIPMENT.
- INSPECT THE POLYETHYLENE LINING FOR FAILURE, INCLUDING TEARS AND PUNCTURES.
- ONCE CONCRETE WASTES HARDEN, REMOVE AND DISPOSE OF THE MATERIAL.
- EXCESS CONCRETE SHOULD BE REMOVED WHEN THE WASHOUT SYSTEM REACHES 50 PERCENT OF THE DESIGN CAPACITY. USE OF THE SYSTEM SHOULD BE DISCONTINUED UNTIL APPROPRIATE MEASURES CAN BE INITIATED TO CLEAN THE STRUCTURE.
- UPON REMOVAL OF THE SOLIDS, INSPECT THE STRUCTURE. REPAIR THE STRUCTURE AS NEEDED OR CONSTRUCT A NEW SYSTEM.
- DISPOSE OF ALL CONCRETE IN A LEGAL MANNER. REUSE THE MATERIAL ON SITE, RECYCLE, OR HAUL THE MATERIAL TO AN APPROVED CONSTRUCTION/DEMOLITION LANDFILL SITE. RECYCLING OF MATERIAL IS ENCOURAGED. THE WASTE MATERIAL CAN BE USED FOR MULTIPLE APPLICATIONS INCLUDING BUT NOT LIMITED TO ROADBEDS AND BUILDING. THE AVAILABILITY FOR RECYCLING SHOULD BE CHECKED LOCALLY.
- THE PLASTIC LINER SHOULD BE REPLACED AFTER EVERY CLEANING. THE REMOVAL OF MATERIAL WILL USUALLY DAMAGE THE LINING.
- THE CONCRETE WASHOUT SYSTEM SHOULD BE REPAIRED OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE.
- CONCRETE WASHOUT SYSTEMS ARE DESIGNED TO PROMOTE EVAPORATION. HOWEVER, IF THE LIQUIDS DO NOT EVAPORATE AND THE SYSTEM IS NEAR CAPACITY IT MAY BE NECESSARY TO VACUUM OR REMOVE THE LIQUIDS AND DISPOSE OF THEM IN AN ACCEPTABLE METHOD. DISPOSAL MAY BE ALLOWED AT THE LOCAL SANITARY SEWER AUTHORITY PROVIDED THEIR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMITS ALLOW FOR ACCEPTANCE OF THIS MATERIAL. ANOTHER OPTION WOULD BE TO UTILIZE A SECONDARY CONTAINMENT SYSTEM OR BASIN FOR FURTHER Dewatering.
- INSPECT CONSTRUCTION ACTIVITIES ON A REGULAR BASIS TO ENSURE SUPPLIERS, CONTRACTORS, AND OTHERS ARE UTILIZING DESIGNATED WASHOUT AREAS. IF CONCRETE WASTE IS BEING DISPOSED OF IMPROPERLY, IDENTIFY THE VIOLATORS AND TAKE APPROPRIATE ACTION.
- WHEN CONCRETE WASHOUT SYSTEMS ARE NO LONGER REQUIRED, THE CONCRETE WASHOUT SYSTEMS SHALL BE CLOSED. DISPOSAL OF ALL HARDENED CONCRETE AND OTHER MATERIALS USED TO CONSTRUCT THE SYSTEM.
- HOLES, DEPRESSIONS, AND OTHER LAND DISTURBANCES ASSOCIATED WITH THE SYSTEM SHOULD BE BACKFILLED, GRADED, AND STABILIZED.

NOT TO SCALE



MATERIAL: 2-3 IN. WASHED STONE (I.N.D.O.T. CA NO. 2) OVER STABLE FOUNDATION
THICKNESS: 6 IN. MINIMUM
WIDTH: 12 FT. MINIMUM OR FULL WIDTH OF ENTRANCE/EXIT ROADWAY (WHICHEVER IS GREATER)
LENGTH: 50 FT. MINIMUM (THE LENGTH CAN BE SHORTER FOR SMALL SITES SUCH AS INDIVIDUAL HOMES
WASHING FACILITY (OPTIONAL): LEVEL AREA WITH 3 IN. WASHED STONE MINIMUM OR A COMMERCIAL RACK, AND WASTE WATER DIVERTED TO A SEDIMENT TRAP OR BASIN
(PRACTICE 3.72)

GEOTEXTILE FABRIC UNDERLINER: MAY BE USED UNDER WET CONDITIONS OR FOR SOILS WITHIN A HIGH SEASONAL WATER TABLE TO PROVIDE GREATER BEARING STRENGTH

INSTALLATION

- AVOID LOCATING ON STEEP SLOPES OR AT CURBS IN PUBLIC ROADS
- REMOVE ALL VEGETATION AND OTHER OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA, AND GRADE AND CROWN FOR POSITIVE DRAINAGE.
- IF SLOPE TOWARDS THE ROAD EXCEEDS 2%, CONSTRUCT A 6-8 IN. HIGH WATER BAR (RIDGE) WITH 3:1 SIDE SLOPES ACROSS THE FOUNDATION ARE ABOUT 15 FT. FROM THE ENTRANCE TO DIVERT RUNOFF AWAY FROM THE ROAD (PRACTICE 3.24) SEE EXHIBIT.
- INSTALL PIPE UNDER THE PAD IF NEEDED TO MAINTAIN PROPER PUBLIC ROAD DRAINAGE.
- IF WET CONDITIONS ARE ANTICIPATED, PLACE GEOTEXTILE FABRIC ON THE GRADED FOUNDATION TO IMPROVE STABILITY.
- PLACE STONE TO DIMENSIONS AND GRADE SHOWN IN THE EROSION/SEDIMENT CONTROL PLAN, LEAVING THE SURFACE SMOOTH AND SLOPED FOR DRAINAGE
- DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE STONE PAD TO A SEDIMENT TRAP OR BASIN

MAINTENANCE

- INSPECT ENTRANCE PAD AND SEDIMENT DISPOSAL AREA WEEKLY AND AFTER STORM EVENTS OR HEAVY USE
- RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL
- TOPDRESS WITH CLEAN STONE AS NEEDED
- IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. FLUSHING SHOULD ONLY BE USED IF THE WATER IS CONVEYED INTO A SEDIMENT TRAP OR BASIN
- REPAIR ANY BROKEN ROAD PAVEMENT IMMEDIATELY

Temporary Construction Entrance (Gravel)

NOT TO SCALE

Siltworm Installation Specifications

Siltworm can be placed in ditches or at the top, on the face, or at the toe of a slope as sediment trapping device. Siltworm can also serve to remove sediment from runoff and release filtered water as sheet flow.

Siltworm installation on a slope shall be placed along or on the ground contour. Where possible Siltworm applied to the toe of a slope should be placed 10 feet away from the toe in order to provide space for sediment storage. Maximum drainage area shall be ¼ acre per 100 lf of Siltworm.

For ditch applications, the maximum drainage area shall be 15 acres, at sites which outfall to exceptional water or sediment-impaired streams, the maximum drainage area shall be limited to 10 acres.

Siltworm shall be placed perpendicular to the flow of water. Siltworm shall continue up the side slopes to the up of bank or a maximum of 3 feet above the installed height. Siltworm shall remain in place until all upstream areas are permanently stabilized.

Siltworm consist of a tubular mesh sack with openings no greater than ¾" of an inch. The mesh sack is biodegradable. Fill material consist of wood chips and other complot material.

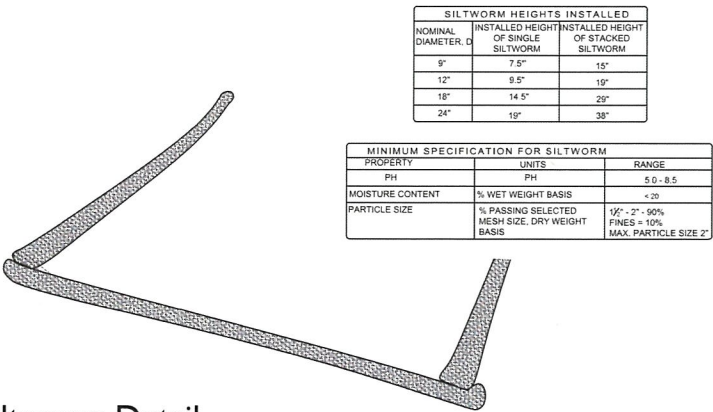
Siltworm is supplied and installed in diameters of 9", 12", 18" or 24" diameter Tolerances are 2". Siltworm will flatten out to an oval when in place, thus the installed height will be less than nominal diameter.

Siltworm shall be inspected after each runoff event and shall be removed and replaced if signs of undercutting or downstream spacing rills are observed.

Siltworm should be removed from slopes after stabilization is complete. This may be accomplished by cutting the Siltworm open and spreading the fill material on the site. Siltworm applied in ditch shall be completely removed.

Perimeter Control

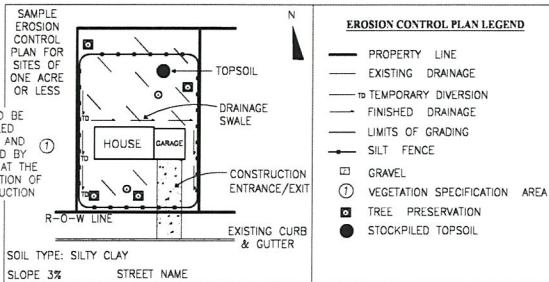
Place Siltworm directly on top of grade, and overlap ends a minimum of 6". Site preperation is minimal, and there is no staking or trenching requirement for grades under 12%. Arrange the Siltworm perimeter control in a manner that is applied perpendicular to sheet flow. Ensure ground contact,



NOT TO SCALE

NOTES:

- LOTS RESULTING IN THE DISTURBANCE OR IMPACT OF ONE (1) ACRE OR MORE OF TOTAL LAND AREA WILL REQUIRE A LAKE COUNTY STORMWATER PERMIT. REFER TO CITY OF VALPARAISO STORMWATER MANAGEMENT AND CLEAN WATER REGULATIONS ORDINANCE #1274A FOR STORMWATER POLLUTION PREVENTION PLAN REQUIREMENTS (SWPPP).
- CONTRACTOR IS TO INSTALL SILT FENCE AT TOP OF POND BANK. (APPLICABLE LOTS)
- CONTRACTOR IS TO INSTALL DROP INLET PROTECTION DEVICES IN STREET CATCH BASINS DOWN STREAM OF LOT.
- BMPs ARE TO STAY IN PLACE UNTIL YARDS ARE STABILIZED AND HAVE 90% COVERAGE.



WARNING! EXTRA MEASURES MAY BE NEEDED IF YOUR SITE:

- IS WITHIN 300 FEET OF A STREAM OR WETLAND
- IS WITHIN 1000 FEET OF A LAKE
- IS STEEP (SLOPES 12% OR MORE)
- RECEIVES RUNOFF FROM 10,000 FT² OR MORE OF ADJACENT LAND
- HAS MORE THAN AN ACRE OF DISTURBED GROUND

FOR INFORMATION ON APPROPRIATE MEASURES FOR THESE SITES, CALL ONE OF THE OFFICES LISTED ON THE BACK.

TYPICAL LAWN SEED MIXTURES (PERCENT BY WEIGHT)

	SUNNY SITE	SHADY SITE
GRASS		
KENTUCKY BLUEGRASS	65%	15%
FINE FESCUE	20%	70%
PERENNIAL RYEGRASS	15%	15%

SEEDING RATE (LB/1000 FT²)

3-4 4-5

SOURCE: R.C. NEWMAN, LAWN ESTABLISHMENT, UW-EXTENSION, 1983

Sample Erosion/Sediment Control Practice Plan

FOR A TYPICAL ONE OR TWO FAMILY DWELLING UNDER CONSTRUCTION

NOT TO SCALE

SCHEDULE:

	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
WHEAT OR RYE												
OATS												
PERENNIAL RYEGRASS												
DORMANT SEEDING												
INCREASE APPLICATION RATES 50% FOR DORMANT SEEDING												
NON-IRRIGATED												
IRRIGATED												
DORMANT SEEDING												
INCREASE APPLICATION RATES 50% FOR DORMANT SEEDING												

NOTES:

- AREA TO BE SEEDED SHALL BE SMOOTH AND UNIFORM AND SHALL BE IN ACCORDANCE WITH THE FINISHED GRADE AND CROSS SECTION SHOWN ON THE PLANS.
- AREAS TO BE PERMANENTLY SEEDED SHALL HAVE A MINIMUM TOPSOIL DEPTH OF 4 INCHES. LIGHTLY COMPACT PLACED TOPSOIL BY ROLLING OR TAMPING.
- PRIOR TO REPLACING TOPSOIL, LOOSEN SUBSOIL TO ENSURE GOOD BOND WITH TOPSOIL.
- APPLY PERMANENT SEEDING WITH 800 LB/ACRE OF 12-12-12 FERTILIZER AND MULCH WITH A CONTINUOUS BLANKET OF STRAW AT A RATE OF 2 TONS/ACRE OR USE HYDROSEEDING TECHNIQUES.
- APPLY TEMPORARY SEEDING WITH 200 LB/ACRE OF 12-12-12 FERTILIZER AND MULCH WITH A CONTINUOUS BLANKET OF STRAW AT A RATE OF 2 TONS/ACRE OR USE HYDROSEEDING TECHNIQUES.
- ON SLOPES STEEPER THAN 3:1, STRAW MULCH SHALL BE HELD IN PLACE WITH POLYMERIC PLASTIC NET TACKED WITH WIRE STAPLES, OR EQUIVALENT METHOD.

SEED MIXTURES AND APPLICATION RATES:

PERMANENT SEEDING:

GRASS MIX APPLIED AT 170 LB/ACRE (4 LB/1000 SQ.FT.) COMPRISED OF THE FOLLOWING:
KENTUCKY 31 FESCUE - 95 LB/ACRE
PERENNIAL RYEGRASS - 65 LB/ACRE
JASPER RED FESCUE - 10 LB/ACRE

TEMPORARY SEEDING:

GRASS MIX APPLIED AT 80 LB/ACRE (2 LB/1000 SQ.FT.) COMPRISED OF THE FOLLOWING:
KENTUCKY 31 FESCUE - 40 LB/ACRE
PERENNIAL RYEGRASS - 40 LB/ACRE
OR WHEAT OR RYE APPLIED AT 2 BUSHELS/ACRE
OR SPRING OATS APPLIED AT 3 BUSHELS/ACRE

Seeding Schedule and Notes

NOT TO SCALE

I - General Construction

The contractor, subcontractors, their assigns, etc. are considered to be skilled and experienced in the use and interpretation of plans and specifications such as those included in the bid documents or herein described for this contract. Said contractor and subsequent sub-contractors, assigns, etc. are to have carefully reviewed said documents and have found them free of ambiguities and are sufficient for bid and construction purposes.

- A. The Contractor shall provide all labor and materials necessary for a complete and finished installation, including any alterations to work already performed, entirely to the satisfaction of the Owner and/or Engineer.
- B. All labor, materials, and systems or components thereof to be in full accordance with the requirements of all governing codes and regulations having jurisdiction over this work. Each Contractor to obtain and pay for all permits and inspections as required for proper installation of their respective work.
- C. The Contractor shall visit the site and take into account all existing conditions as they may affect the work, and to include in its proposal any changes as may be required by supplementation to the new work. Failure to recognize work required shall not be reason for additional compensation after the letting of the contract.
- D. All work shall be performed in the best and most professional manner by craftsmen skilled in their respective trades and in accordance with the agreed upon schedule with the Owner.
- E. The Contractor shall notify all utility companies for field locations of their facilities prior to commencement of construction. The Contractor shall be responsible for the maintenance and preservation of the facilities.
- F. All elevations are U.S.G.S. Datum.
- G. Trench backfill material meeting INDOT Standards shall be used in all utility trenches under existing or proposed pavement and sidewalks.
- H. The underground contractor shall deposit and level all sewer spoil onsite as directed by the Engineer or Owner. The Underground Contractor shall return the pavement subgrade to the plus or minus 0.10 elevation as left by the Grading Contractor. The fill shall be compacted to 95% of maximum dry density as determined by ASTM Designation D1557-70. This work shall be considered as incidental to the underground contract.
- I. The cost of all testing of the underground utilities as required shall be considered as incidental to the underground contract. See sanitary sewer construction for testing.
- J. Whenever equipment or material is identified in the specifications by reference to a manufacturer's brand, trade name, catalogue number, or similar notation, is intended to merely establish a standard. A substitution may be permitted provided a prior request is submitted in writing and approved by the Engineer.
- K. Contractor shall call the Indiana Underground Plant Protection Systems, Inc. at (800) 382-5544 for utility locations prior to commencement of construction.
- L. Locations of existing underground utilities shown on the plans are taken from existing records. The actual locations and depths of these utilities to be verified by the Contractor in the field.
- M. There shall be no structures or objects, permanent or temporary, erected within ten feet of the sanitary sewer and water mains. Where ten foot separation cannot physically be maintained, structure foundation depth shall be equal to or below the pipe invert.
- N. "As-Built" reproducible drawing(s) for underground utilities shall be prepared by the Contractor and submitted to the Engineer and the local municipal engineer prior to project completion. The drawings shall be certified by a licensed professional engineer or land surveyor.
- O. The Contractor shall provide a temporary installation of electric and water service and toilet facilities as required, if such services are not available on the construction site.
- P. Safety barricades, fences, temporary walks and signals shall be erected in compliance with the local building code and police regulations.
- Q. All materials shall be as shown on drawings or as per specification. Any substitutes shall be permitted only upon receiving written approval from the Owner and/or Engineer. Upon request by the Owner and/or Engineer to furnish samples, the Contractor shall submit the requested samples for approval.
- R. Any discrepancies, conflicts or ambiguities on the drawings shall be brought to the attention of the Engineer. Failure to do so will not relieve the Contractor of bearing additional costs for labor, materials, and installation to complete its work as intended.
- S. All materials and workmanship of each trade shall be guaranteed for a period of 1 (one) year from the time of final acceptance and payment by the Owner.
- T. The Contractor shall be responsible for verifying field measurements and design dimensions before ordering materials and prefabricated items. Any necessary adjustments shall be made in accordance with the decision of the Owner and/or Engineer.
- U. The Contractor shall coordinate the work for all trades and schedule the timing as not to cause delays to any phase of construction due to late scheduling or interconnected work.
- V. After substantial completion of the project, the Contractor shall complete all defects and omissions noted at the final inspection in the time period agreed upon at the inspection.
- W. The Engineer and his consultants do not warrant or guarantee the accuracy and completeness of the work product herein beyond a reasonable diligence. If any mistakes, omissions or discrepancies are found to exist within the work product, the Engineer shall be promptly notified so that he may have the opportunity to take appropriate action necessary to resolve the differences. Failure to promptly notify the Engineer of such conditions shall absolve the Engineer from any responsibility for the consequences of such failure. Actions taken without the knowledge and consent of the Engineer, or in contradiction to the Engineer's work product or related recommendations, shall become the responsibility not of the Engineer but the parties responsible for taking such action.
- X. The Contractor agrees to indemnify and hold the Owner, Engineer and the Municipality, County or Township where the work is to be performed or constructed harmless from all liability and expenses including the cost of defending actions arising out of the performance of the work undertaken, or out of any claim by any Subcontractor or anyone who furnishes material, equipment or labor in the work of this project.

II - Sanitary Sewer (Materials)

- A. All sanitary sewer mains and service connections shall be PVC Pipe SDR 35. The pipe shall meet ASTM D3034 and be installed as outlined in ASTM D2321. The service connections shall be commercial "Y"s unless the size is not manufactured. Solvent welded cap "T"s may be substituted in this event. Note: Sanitary sewer material to be PVC ASTM-D 1785 Schedule 40 when 10ft. separation cannot be maintained.
- B. Where min. vertical or horizontal clearances from water mains cannot be maintained, use ductile iron pipe which shall conform to the requirement of ASA A21.51, Class 52, cement lined with push-on joints, ASA A21.11. Fittings shall conform to ASA Specifications A21.10.
- C. Manhole frames and covers for sanitary manholes meeting ASTM A48 (latest) with pick

holes equivalent to Neenah R-1780-A.

- D. Manhole steps - Neenah 1981-1, spacing 12 inch or 16 inch centers. The max. distance to the 1st step shall be 18".
- E. Precast adjusting rings may be used to a maximum of 8 inches to set frames to finish grade.
- F. Manholes (precast) reinforced A.S.T.M. C47B (latest) min. 48 inch diameter for pipe 24 in. And less, 60 inch diameter for pipe 27 in. To 36 inches (U.N.).
- G. Ductile iron pipe shall conform to the requirement of A.S.A. A21.51, Class 52, cement lined with push-on joints (A.S.A. A21.11). Fittings shall conform to A.S.A. Specifications A21.10.

III - Sanitary Sewer (Construction)

- A. Minimum bedding four inches below pipe to 12 inches above top of pipe. Bedding material shall be 3/4" clean gravel.
- B. Selected granular material. It shall be required for all sewer trenches lying under existing or proposed street, driveway or sidewalk and within 24 inches thereof. The backfill material shall be filled to the top of the trench with crushed limestone.
- C. Manholes shall have 4 inches of stone bedding. The joints shall have "O" rings or shall be performed bituminous plastic gasket with inert mineral filler similar to Ram-Nek to provide watertight seal.
- D. Manhole frames shall be set to final grade and fastened to manhole with Kent-Seal or equal material to provide watertight seal.
- E. Water-stop gaskets shall be provided at all sanitary sewer manhole connections. Such gaskets shall be in accordance with manufacturer's specifications for the type of pipe used.
- F. The external chimney seal shall be provided on all sanitary sewer manholes.
- G. "Band-Seal" joints with stainless steel straps and bolts shall be used at all points of change in sewer pipe material.
- H. Repair sleeves shall not be used to make closures during new construction.

- I. Sanitary sewer will be tested by air test (5 PSI for 5 min. Max. Loss=1.0 PSI). If, in the opinion of the Engineer/Inspector conditions warrant, he may require an infiltration test in lieu of the air test.
- J. In addition to the air or infiltration testing, the following tests shall be performed in PVC pipe if used:
- J.1. The entire system shall be deflection tested.
- J.2. The lines shall be tested for excess deflection by pulling a mandrel through the pipe from manhole to manhole. The outside diameter of the test mandrel shall be equal to 95% percent of the original inside diameter of the pipe being used.
- J.3. The individual lines to be tested shall be so tested no sooner than thirty days after they have been installed.
- J.4. Wherever possible and practical, the testing shall initiate at the downstream lines and proceed towards the upstream lines.
- J.5. Where deflection is found to be in excess of 5% of the original pipe diameter, the contractor shall excavate to the point of excess deflection and carefully compact around the point where excess deflection was found. The line shall then be retested for deflection. However, should after the initial testing, the deflected pipe fail to return to the original size (inside diameter), the line shall be replaced.

- K. Maximum allowable infiltration shall be 200 gallons per inch of diameter or sewer per mile per 24 hours.
- L. The Manhole shall be air tested in accordance with ASTM C1244-93, Standard Test Method for Concrete Sewer Manholes by Negative Air Pressure (Vacuum) Test.

VI - Water Main (Materials)

- A. Ductile iron pipe shall conform to the requirement of ASA A21.51, pressure class 350, asphalt coated, cement lined with push-on joints ASA A21.11. Fittings shall conform to ASA Specification A21.10. Fittings shall conform to ASA Specification A21.10.
- B. Hydrants shall be compression type AWWA C-502, 300 PSI test and 150 PSI working pressure. Hydrant shall be Kennedy K-81 (or approved equal) "Breakaway" type with auxiliary valve, box and cover with 2, two and one-half inch nozzle and 1, four, and one half inch steamer. The bottom flange of the hydrant shall be set flush with finish grade. Hydrant shall be painted red. It shall be equipped with 2 foot spacer between auxiliary valve and hydrant barrel (as needed).
- C. The valve shall conform to the latest AWWA C-500 Standard. Valve shall be clow resilient wedge type or equal. They shall have left turn opening with square heads for keying.
- D. Services shall be copper pipe water tube type K, ASTM B88 and B-251.

- E. Service boxes shall be cast iron type, Erie pattern lid and arch type BTM. With min. 24" rod. 1" box required.
- F. Valve boxes shall be cast iron extension screw type for valves on lines 8 inches and smaller having lids with the letter "water".
- G. Corporation stops and curb stops shall be brass with suitable outlet for copper connections. Curb stops shall be of the standard local requirements type with curb stop threaded into curb box.
- H. All water service taps requiring tapping saddles shall be Ford heavy brass.
- I. All fittings shall be high quality waterworks brass with AWWA standard threads.

VII - Water Main (Construction - AWWA)

- A. Minimum bedding, 4 inches below pipe to top of pipe for ductile iron 6 inches below pipe to 12 inches above top of pipe for PVC. Bedding shall be of "B" borrow or fine aggregate.
- B. Selected granular material. It shall be required for all water trenches lying under existing or proposed street, driveway or sidewalk and within 24 inches thereof. The backfill material shall be dune sand or crushed stone.
- C. Minimum cover. 5.0' below finish grade. Maximum cover where valve is located shall not exceed 8 feet.
- D. Thrust blocks required at all bends, tees, caps, and valves (see details).

- E. Special poured-in-place anchoring shall be used on all valves to prevent movement during testing against closed valves.
- F. Hydrants shall be plumb with nozzle pointed toward roadway maintaining 24 inches clearance between finish grade and nozzle.
- G. Draining pits, for hydrants, shall be two feet in diameter and two feet deep, filled with 3/4" washed coarse aggregate.
- H. Repair sleeves shall not be used to make closures during new construction.
- I. Pressure testing shall be at 100 PSI for two hours.
- J. Leakage testing shall be based on an allowable rate of 11.65 gallons per day per inch diameter per mile based on 13 foot sections. The total amount of water pumped into the line during two hours shall not exceed the allowable.
- K. Disinfection shall be performed by flushing, then chlorinating at a rate of 50 PPM. To insure a residue of 25 PPM after 24 hours. Then after secondary flushing a minimum of two water purity samples on two consecutive days 24 hours apart shall be taken by Owner and submitted to local water utility. Provide sampling taps where requested by local water utility. Disinfection should follow AWWA C651-86 or current standards.
- L. All taps, other than services, shall be made with pressure taping sleeve and value (U.N.).
- M. Separation of water and sanitary sewer lines shall be 10 feet minimum, horizontally. If 10 feet is not possible, sewer shall be of water main quality material and construction. If crossing pipes, proved 18+ inches and in addition, locate water pipe joints an equal distance from crossing point.
- N. No. 12 copper wire is required to be installed with non-metallic water mains or buried locating type 5"-6" wide.
- O. The Contractor shall provide 3/4" tap for water sampling purposes at locations as required by local water utility.
- P. The Contractor shall provide corporation cocks as required to de-air the line.
- Q. Service taps to lots to be 1" diameter.

VIII - Paving (Materials)

- A. Pavement shall be constructed on a thoroughly compacted subgrade. Subgrade shall be compacted to at least 95 percent of the maximum dry weight that can be produced under testing procedures outlined under ASTM Designation D1557-70.
- B. Base course shall be compacted aggregate base course, INDOT 53 stone. The paved surface shall consist of bituminous concrete binder and/or surface course, installed in conformance with INDOT Standard Specifications. See plan for thickness.
- C. Sidewalks and curb and gutter shall be Portland Cement Concrete with air entrainment of 6 percent plus or minus 1 percent. Sidewalks shall have a cross slope of 2.0% max. A 5.5 bag mix shall be used. Maximum allowable slump is 4 inches. The walk shall be handicapped accessible at the intersection of all streets.
- D. The curb and gutter shall be interrupted at 100-foot intervals and at all radius points with a 3/4" thick fiber expansion joint and scoring every 20 feet. Two #4 steel reinforcing bars shall be placed through the full length of the curb and gutter interrupted only at the expansion joints. The location of all sanitary and water services shall be marked on the curb.

IX - Paving (Construction)

- A. All work shall conform to the applicable provisions of the standard specifications of the local governing authorities.
- B. Subgrade shall be finished to plus or minus 0.1 feet of designed subgrade elevation by the Earthwork Contractor. Final grading shall be the responsibility of the Paving Contractor.
- C. After final grading, the Contractor shall place the aggregate base course in accordance with the specifications. The base shall be primed at the rate of 0.25 to 0.50 gallons per square yard with a liquid asphalt conforming to RS-2, RC-70, or MC-30 depending on surface and weather conditions. The type of primer shall be approved by the Engineer.
- D. The surface course shall be placed in accordance with INDOT Specifications.
- E. Sidewalk shall be constructed in accordance with the standard specifications. A 3/4" thick fiber expansion joint shall be installed at 50 foot intervals. At the joints between sidewalks and curb and at the joint between two runs of sidewalk, control joints shall be scribed at five foot intervals. The outside edges and joint edges shall be neatly chamfered as part of the finishing. The surface shall have a light broom finish. Immediately after finishing, the surface shall be sprayed with a colorless curing membrane.
- F. Sidewalk shall be constructed on undistributed clay or approved granular fill. If granular fill is used, it must be drained.
- G. All areas that tree stumps and roots have been removed underlie streets, sidewalks and utilities, shall be filled with select fill prior to final grading.

X - Concrete

- A. Concrete and its placement shall be in accordance with ACI 318 and ACI 301 except as modified in these specifications. Protect all concrete in accordance with ACI standards for hot, cold weather concreting.
- B. Standard weight concrete shall comply with the following:
1. Minimum compressive strength (at 28 days): 4,000 psi
 2. Maximum water/cement ratio - .45 air entrained
 3. Aggregate size - Footings 12" thick or greater 1-1/2" - All other concrete 3/4"
 4. Total air content - 6% ± 1-1/2% - 3/4" aggregate - 5% ± 1-1/2% - 1-1/2" aggregate
 5. Max Slump - 3%
 6. Reinforcing Bars: Provide deformed bars complying with ASTM A615 grade 60
 7. Welded wire fabric: ASTM A185, cold drawn steel plain
 8. No admixtures without approval from engineer. Admixtures containing chlorides shall not be used.
- C. Concrete coverage for reinforcing (U.N.O.):
1. Unformed concrete in contact with earth = 3"
 2. Formed concrete in contact with earth = 2"
 3. Other concrete =1-1/2"
- D. Lap splices shall be the following bar diameters unless noted otherwise on drawings. Locate splices at point of minimum stress. Welded splices are not permitted.
- D1. All reinforcement except for that noted in D2.

- | Reinforcement | Lap Length in Bar Diameters |
|---------------|-----------------------------|
| #3 - #6 | 38 |
| #7 - #11 | 48 |
- D2. Horizontal reinforcement so placed that more than 12 inch of concrete is cast below the reinforcement (i.e. horizontal wall reinforcement and top beam reinforcement)
- | Reinforcement | Lap Length in Bar Diameters |
|---------------|-----------------------------|
| #3 - #6 | 50 |
| #7 - #11 | 62 |
- D3. Welded wire fabric - mesh space +2"
- E. Comply with ACI 301. Position, support, and secure reinforcement against displacement, locate and support with metal chairs, runners, bolsters, spacers, and hangers, as required. Set wire ties so ends are directed into concrete, not toward exposed concrete surfaces.
- F. Re-entrant corners: At all re-entrant corners in slabs, walls and topping, the contractor shall install two (2) #3x3'-0" long, each mat, at 3-inch o.c.
- G. Provide bent corner bars to match and lap horizontal bars at corners and intersections of walls and footing.
- H. Concrete can only e placed on a frost-free subgrade.
- I. Mechanically vibrate all concrete.
- J. All cast-in-place concrete shall be protected against rapid drying and must be kept moist for a minimum of (7) days for nominal concrete.
- K. Provide a 3/4"x3/4" chamfer on all exposed corners of concrete.
- L. Maximum free drop of all concrete = 2'-0".
- M. Provide dowels of same size and spacing as vertical wall or column reinforcing, with standard hooks, at the foundation (U.N.O.)
- N. Concrete field tests for slump, air content, yield and strength shall be conducted by a certified concrete technician in accordance with ACI 301. Tests shall be submitted to engineer for approval.

X - Earthwork

Earthwork under this contract shall include the following:

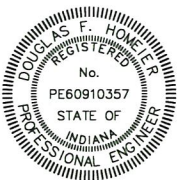
- A. Removal and disposal of trees and other vegetation from the r.o.w.
- B. Stripping of all topsoil. Stockpiling as shown on Erosion Control plan or as directed by owner.
- C. Clay excavation, placement and compaction as necessary to obtain designed subgrade elevations in pavement, sidewalk and detention areas.
- D. Subgrade elevations shall be finished to within 0.1 feet of designed elevations. Fine grading in pavement areas shall be the responsibility of the paving contractor.
- E. Fill materials shall be placed in layers not to exceed eight (8) inches loose measurement. Each layer shall be compacted to at least ninety-five percent (95%) of the maximum dry weight that can be produced under testing procedures as outlined under ASTM designation D1557-70.
- F. The owner shall be responsible for independent testing and inspection of fill operations. Based on these observations and test results, the contractor shall adjust his methods as necessary to achieve the required degree of compaction.
- G. It shall be the grading contractor's responsibility to maintain proper site drainage while the grading operation is in progress. The cost of maintaining said drainage shall be considered as incidental to the grading contract.

XI - IDEM Notes

During installation of the utilities, should there be any instance where the sewer lines pass within ten (10) feet of a water line or should any sewer line cross over the water line, the following guidelines MUST BE FOLLOWED:

- A. The Sanitary and Storm Sewers must be constructed of Water Main quality material (Ductile Iron) for ten (10) feet beyond said instances.
- B. Whenever a Water Main crosses below a Sanitary or Storm Sewer, a vertical separation of eighteen (18") must be provided between the crown of the water main and the invert of the sewer.
- C. Structural support sand fill must be provided for the sewer to prevent the joints from deflecting and leaking. The fill over the water line must be compacted granular material (clean sand). This fill is to be installed under the supervision of a field soil engineer. This fill is to extend to the spring line of the sewer.

Douglas F. Homan



McMAHON

ENGINEERS ARCHITECTS

952 South State Road 2
Valparaiso, Indiana 46385
Tel: (219) 462-7743 Fax: (219) 494-9248
mcm@mcgrp-in.com

McMAHON provides this drawing and data, regardless of form, as instruments of service. All rights in this drawing and data are retained by McMAHON. The client and/or user agrees to indemnify and hold McMAHON harmless from and against all claims, damages, costs and expenses, including reasonable attorney's fees, arising out of or from the use of this drawing and data without prior written consent by McMAHON.

RESPON

DATE

NO.

DESIGNED
DFH

DRAWN
KMC

PROJECT NO.
T0554-5-17-00286

DATE
02/27/2018

SHEET NO.
C7.0

Airport Industrial Park East - Lot 8

4711 Airport Drive, Valparaiso, Indiana 46383

Site Technical Specifications

FILED

Petition #: VAR18-006 MAR 23 2018

Sharon Emmerich
Clerk-Treasurer

**PETITION TO
VALPARAISO BOARD OF ZONING APPEALS**

The Petition shall be filed in duplicate with the City Clerk-Treasurer a minimum of 25 days prior to the date of the next Board of Zoning Appeals ("BZA") meeting. The BZA meets every third Tuesday of the month at 7:00 PM in City Hall, 166 Lincolnway, Valparaiso. The Petitioner and/or his/her representative must be present at the public hearing. The filing fee must be paid to the City Clerk-Treasurer upon filing a complete Petition. Please submit nine (9) copies of this petition.

PLEASE COMPLETE THE FOLLOWING:

The undersigned Petitioner and owner(s) of real estate, identified within this application as property within the jurisdiction of the City, respectfully petition the Board of Zoning Appeals to consider;

- ☐ 1. Relief to an Administrative decision. (Exhibit No. ☐)
- ☒ 2. Variance(s) from the development standards.
- ☐ 3. Variance of the use from the terms of the Zoning Ordinances.
- ☐ 4. Petition for Special Exception.
- ☐ 5. Special Exception from Home Occupation.
- ☐ 6. Conditional Use.

In support of an application for **Variance(s) from the Development Standards**, the Petitioner states that the granting of such request:

- ☒ Will not be injurious to the health, safety, morals, and general welfare of the community;
- ☒ Will not affect the use and value of the area adjacent to the property included in the variance in a substantially adverse manner; and arise from practical difficulties in the use of the property in conformity with the Zoning Ordinance.
- ☒ Petitioner will comply with all ordinance parking requirements.

In support of an application for a **Use Variance**, the Petitioner states that the granting of such request:

- ☐ Will not be injurious to the health, safety, morals, and general welfare of the community;
- ☐ Will not affect the use and value of the area adjacent to the property included in the variance in a substantially adverse manner; and arise from practical difficulties in the use of the property in conformity with the Zoning Ordinance.
- ☐ Arise from a condition peculiar to the property;

- _____ Arises from unnecessary hardships if the Zoning Ordinance is strictly applied; and
- _____ Does not interfere substantially with the Comprehensive Plan adopted.
- _____ Petitioner will comply with all ordinance parking requirements.

In Support of an application for **Special Exception**, the Petitioner states that the granting of such request:

- _____ Will not generate excessive vehicular traffic on minor residential streets;
- _____ Will not create vehicular parking or traffic problems;
- _____ Appropriate access roads, drives, utilities, drainage, facilities, and other necessary facilities have been or will be installed;
- _____ Will make a substantial contribution to the neighborhood environment and will not infringe on the rights of properties in the vicinity of the expected use;
- _____ Will comply with the requirements of the district in which proposed use is to be located.
- _____ Petitioner will comply with all ordinance parking requirements.

In support of such application for **Special Exception for Home Occupation**, Petitioner states:

- _____ That no person other than members of the family residing on the premises will be engaged in the home occupation.
- _____ That the use of the dwelling unit for home occupation will be clearly incidental and subordinate to its use for residential purposes and not more than 25% of the floor area of the dwelling will be used in the conduct of the home occupation.
- _____ That there will be no change in the outside appearance of the building or premises, or other visible evidence of the conduct of such home occupation, other than one sign-such sign not exceeding two square feet in area, non-illuminated and containing only the name and nature of the business.
- _____ That no home occupation will be conducted in any accessory building.
- _____ That there will be no sales area unless specifically permitted by the BZA.
- _____ That no traffic will be generated by such home occupation in greater volume than would normally be expected in a residential neighborhood and any need for parking generated by the conduct of such home occupation will be met by required or permitted parking spaces, and will not be in the front yard.
- _____ That no equipment or process will be used which creates noise, vibration, glare, fumes, odors, or electrical interference detectable to the normal senses which can be detected off premises.

PETITIONER:

Pratt Paper (IN) LLC 1800-C Sarasota Parkway, Conyers, GA 30013

Name (Please Print)	Address	Phone
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OWNER OF SUBJECT PROPERTY:

Pratt Paper (IN) LLC 1800-C Sarasota Parkway, Conyers, GA 30013

Name (Please Print)	Address	Phone
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ADDRESS OF SUBJECT PROPERTY: 3155 State Road 49, Valparaiso, IN 46383

Subject property fronts on the W side between (streets) State Road 49 and Anthony Pratt Dr. in the INH Zoning District.

Legal Description of Subject Property: (Exhibit No. A)

DESCRIPTION OF PROPOSED PROJECT INCLUDING, NEW CONSTRUCTION, ADDITION, ALTERATION, OR CHANGE OF USE: (Exhibit No. A)

Section (3) of the Zoning Ordinance from which a Variance, Special Exception, or Administrative Relief is sought:

Article: 3 Section: 3.505 Paragraph: B Item: 4
: _____ : _____ : _____ : _____
: _____ : _____ : _____ : _____

Attach a Site Plot Plan drawn to scale showing:

- a. scale
- b. lot: shape, location, dimension, and area
- c. existing improvements on the lot (including, structures, sidewalks, & driveways) and the percent coverage of improvements on the lot
- d. distance for lot lines, right-of-way lines, or easements to any structure for: front, back and side yards

Please fill in:

Front Setback 25 Rear Setback 30 Side Setbacks 15 / 15 Lot Coverage _____
Height Less than 50 ft.

The powers and duties of the Board of Zoning Appeals are provided for and limited by Enabling Acts in Indiana Code 36-7-4-900 et. eq.. The public hearing procedures are similar to a courtroom hearing. Although it is not required that the Petitioner represented by legal counsel, information and documentation pertaining to the petitioner should be prepared as if it were to become part of a court hearing. **Although the office of the City Planner is available to assist the Petitioner, it is the Petitioner's responsibility to request and prepare the appropriate variance petition.** The Planning Department can be contacted Monday-Friday between 8:30 – 4:30 at (219) 462-1161.

Petitions will not be scheduled for public hearing unless all legal and procedural requirements have been met.

PRATT PAPER (IN), LLC

EXHIBIT A

LEGAL DESCRIPTION:

Lot 2 in Pratt Properties, Inc. Excess Land Minor Subdivision, being a subdivision of the north half of the S.W. Quarter of Section 32, Township 35 North, Range 5 West of the Second Principle Meridian, in Washington Township, Porter County, Indiana, as per the Plat thereof, recorded in Plat file 52-B-5 in the Office of the Recorded of Porter County, Indiana

PROJECT DESCRIPTION:

Pratt intends to construct a large addition on the south side of the existing paper mill to provide additional area for product storage. To facilitate efficient transport of product from paper mill to box factory, Pratt desires to construct an enclosed connection between the buildings to house a conveyor system. The conveyor would span across the property line common the MM Valpo, LLC (Box Factory) and Pratt Paper (IN), LLC (Paper Mill) and encroach into the setback lines associated with said property line. Variance requested is to span a property line encroach into building setbacks.

STAFF USE ONLY

Date Received _____

- ____ Names and Addresses of property owners within 300 feet provided
- ____ Signature notarized
- ____ Site Plan attached
- ____ Legal Description (Not Abbreviated) Provided
- ____ Petition Filed Complete
- ____ Written Description of Project
- ____ Petitioners Affidavit of Notice
- ____ Findings of Fact
- ____ Photo's of Property (Staff Request)
- ____ Landscape Plan (Staff Request)

Date approved for Public Hearing _____, _____

BZA Application Fees

____ Use Variance	\$200
____ Single Family Development Standards Variance	\$50
X ____ Commercial Development Standards Variance	\$150
____ Special Exception/Special Use	\$200
____ Relief to an Administrative Decision	\$200
____ Special Meeting	\$1000
____ Conditional Use	\$100
____ Wireless Communications Facility Special Use – Major	\$500
____ Wireless Communications Facility RF Tech Study Fee	\$ Actual cost of study

TOTAL FEE \$150

SURROUNDING PROPERTY OWNER LIST

List the name and address of all property owners who have received notification below
(Use Additional Sheets if Necessary):

(Please Print)

NameAddress

Union Electric Steel Corp. PO Box 29, Valparaiso, IN 46384

JKC Holdings LLC 1501 W. 175th St., Homewood, IL 60430

Babich Nicholas J Jr. 466 E. 725 N., Valparaiso, IN 46383

Porter Co. Jail Bldg. Corp. 155 Indiana Ave., RM. 205, Valparaiso, IN 46383

Walsh & Kelly, Inc. 1700 E. Main St., Griffith, IN 46319

Alpha/Owens-Corning 955 Highway 57, Collierville, TN 38017

[illegible]

Variance from Development Standards
Findings of Fact
(Please Print)

Petitioner submits that:

A. The proposed variance from the Development Standards will not be injurious to the public health, safety, morals, and general welfare of the community because: _____
The proposed connection encroaches into the set back lines and will also
connect the existing buildings. The building encroachment does not cause
any health, safety, or moral impacts to the surrounding properties.

B. The use and value of the area adjacent to the property included in the proposed variance will not be affected in a substantially adverse manner because: _____
The proposed connection is internal to the land owned by Pratt Paper (IN)
LLC. and will not impact adjacent property owners in an adverse way.

C. The strict application of the terms of the zoning ordinance will result in particular difficulties in the use of the property included in the proposed variance because: _____
Without the variance, there is a decrease in production efficiency and an
increase in both production costs and manpower needed to transport the
product from one building to another.

The Petitioner carries the burden of proving to the Board of Zoning Appeals the existence of each and every one of the elements listed above.

Certificate of Petitioner

Please read and sign the following statement:

I, the Petitioner (and Property Owner, if separate), understand that I and/or my representative must be present at the public hearing. Should I fail to appear, the BZA, in my absence, may consider and take action on my Petition. If the Petitioner is not the owner of the property that is the basis of this Petition, the signature of the Property Owner(s) constitutes authorization for the Petitioner to speak and act on behalf of the Property Owner(s). The Petitioner certifies that neither the Petitioner nor any attachments or exhibits submitted contains any known intentional misrepresentations or intentionally misleading statements. All information submitted is accurate, true and correct to the best of the Petitioner's knowledge. The providing of false and/or inaccurate information on this Petition or during any proceedings before the BZA may result in the denial of the request or the revocation of the request, should a Petition be granted. Similarly, if as part of any granted Petition, the BZA places any restrictions and/or limitations, I acknowledge that my failure to comply with such restrictions/limitations shall be grounds to revoke any granted Petition. The Petitioner acknowledges that it bears the obligation to mail notice of any Public Hearing to all property owners within 300 feet of the property that is the subject of this Petition. Any errors by the Petitioner may result in the Petition being delayed, denied or revoked.

Pratt Paper (IN), LLC

By: [Signature]

Signature of Petitioner

Douglas R. Balyeat, Vice President and General Counsel

~~Pratt Paper (IN), LLC~~

Pratt Paper (IN), LLC

By: [Signature]

Signature of Property Owner

Douglas R. Balyeat, Vice President and General Counsel

Signature of Property Owner

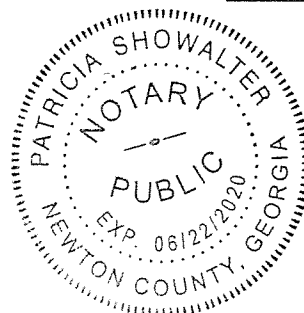
Subscribed and sworn to before me, a Notary in and for said County and State, personally appeared: Douglas R. Balyeat, Vice President and General Counsel of Pratt Paper (IN), LLC, and acknowledge the execution of the foregoing document, this 21st day of March, 20 18.

[Signature]
NOTARY PUBLIC

Patricia Showalter

Type or Print name of Notary

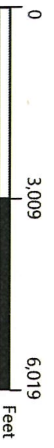
My Commission Expires: 06-22-2020
Resident of Newton County, Georgia





Vicinity Map

Web Print: 03/23/2018



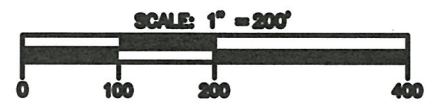
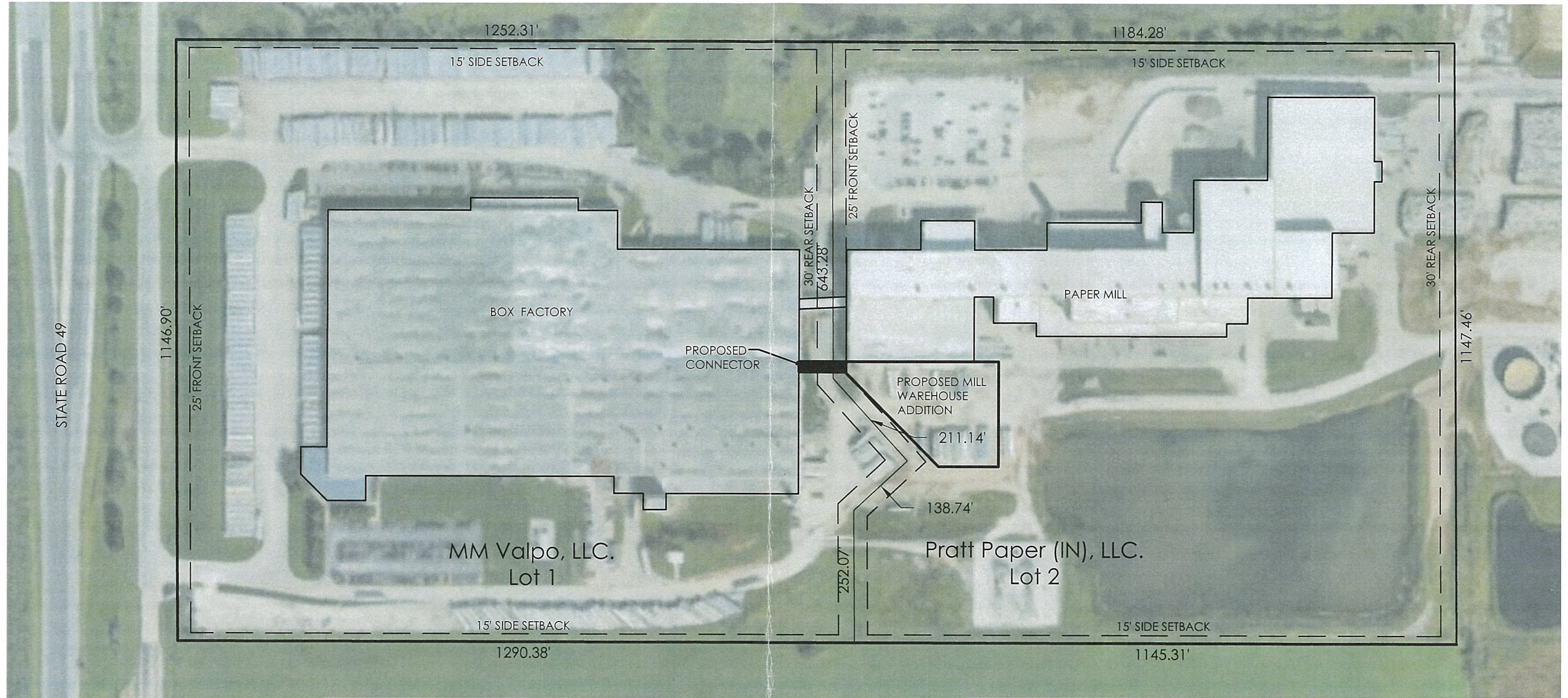
This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.



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C:\Projects\2018\18-0245 Pratt Survey\CAO_Survey\Drawings\18-0245 EXHIBIT.dwg, EXHIBIT, 3/23/2018 6:55:36 AM, Bluebeam PDF, ANSI_11.03_17.00 Inches, 1:1



DATE: 03/23/2018 ACI JOB #: 17-1406
COPYRIGHT 2013 - ABONMARCHÉ CONSULTANTS, INC.

SHT: 1 of 1

FILED

MAR 23 2018

Sharon Emmons
Clerk-Treasurer
Petition #: VAZ-18-007

**PETITION TO
VALPARAISO BOARD OF ZONING APPEALS**

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- ☐ 4. Petition for Special Exception.
- ☐ 5. Special Exception from Home Occupation.
- ☐ 6. Conditional Use.

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☐ That no home occupation will be conducted in any accessory building.

☐ That there will be no sales area unless specifically permitted by the BZA.

☐ That no traffic will be generated by such home occupation in greater volume than would normally be expected in a residential neighborhood and any need for parking generated by the conduct of such home occupation will be met by required or permitted parking spaces, and will not be in the front yard.

☐ That no equipment or process will be used which creates noise, vibration, glare, fumes, odors, or electrical interference detectable to the normal senses which can be detected off premises.

PETITIONER:

c/o Todd A. Leeth
Hoeppner Wagner & Evans LLP,
103 E. Lincolnway

LJF Investments, LLC	Valparaiso, Indiana 46383	219-464-4961
Name (Please Print)	Address	Phone

OWNER OF SUBJECT PROPERTY:

Same as Petitioner		
Name (Please Print)	Address	Phone

ADDRESS OF SUBJECT PROPERTY: 302 & 306 Indiana Avenue; and 153 Morgan Blvd.

Subject property fronts on the ~~XXXXXXXXXXXX~~ side between (streets) _____
in the ~~M-1 Central Business District~~ Zoning District.

is located at the Southeast corner of Morgan and Indiana Avenue, between Morgan Blvd. and Valparaiso Street.

Legal Description of Subject Property: (Exhibit No.____)
See Attached

**DESCRIPTION OF PROPOSED PROJECT INCLUDING, NEW CONSTRUCTION,
ADDITION, ALTERATION, OR CHANGE OF USE:** (Exhibit No.____)

To amend conditions established in Case No. VAR16-028 on or about November 30, 2017.

Section (3) of the Zoning Ordinance from which a Variance, Special Exception, or
Administrative Relief is sought:

Article:_____ Section:_____ Paragraph:_____ Item:_____ * See Above
:_____ :_____ :_____ :_____
:_____ :_____ :_____ :_____

Attach a Site Plot Plan drawn to scale showing:

- a. scale
- b. lot: shape, location, dimension, and area
- c. existing improvements on the lot (including, structures, sidewalks, & driveways)
and the percent coverage of improvements on the lot
- d. distance for lot lines, right-of-way lines, or easements to any structure for: front,
back and side yards

Please fill in:

Front Setback_____ Rear Setback_____ Side Setbacks_____/_____ Lot Coverage_____
Height_____

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Petitions will not be scheduled for public hearing unless all legal and procedural requirements have been met.

Last updated 1/16/18

STAFF USE ONLY

Date Received _____

- ____ Names and Addresses of property owners within 300 feet provided
- ____ Signature notarized
- ____ Site Plan attached
- ____ Legal Description (Not Abbreviated) Provided
- ____ Petition Filed Complete
- ____ Written Description of Project
- ____ Petitioners Affidavit of Notice
- ____ Findings of Fact
- ____ Photo's of Property (Staff Request)
- ____ Landscape Plan (Staff Request)

Date approved for Public Hearing _____, _____

BZA Application Fees

____ Use Variance	\$200
____ Single Family Development Standards Variance	\$50
<u>X</u> Commercial Development Standards Variance	\$150
____ Special Exception/Special Use	\$200
____ Relief to an Administrative Decision	\$200
____ Special Meeting	\$1000
____ Conditional Use	\$100
____ Wireless Communications Facility Special Use – Major	\$500
____ Wireless Communications Facility RF Tech Study Fee	\$ Actual cost of study

TOTAL FEE \$150.00

Certificate of Petitioner

Please read and sign the following statement:

I, the Petitioner (and Property Owner, if separate), understand that I and/or my representative must be present at the public hearing. Should I fail to appear, the BZA, in my absence, may consider and take action on my Petition. If the Petitioner is not the owner of the property that is the basis of this Petition, the signature of the Property Owner(s) constitutes authorization for the Petitioner to speak and act on behalf of the Property Owner(s). The Petitioner certifies that neither the Petitioner nor any attachments or exhibits submitted contains any known intentional misrepresentations or intentionally misleading statements. All information submitted is accurate, true and correct to the best of the Petitioner's knowledge. The providing of false and/or inaccurate information on this Petition or during any proceedings before the BZA may result in the denial of the request or the revocation of the request, should a Petition be granted. Similarly, if as part of any granted Petition, the BZA places any restrictions and/or limitations, I acknowledge that my failure to comply with such restrictions/limitations shall be grounds to revoke any granted Petition. The Petitioner acknowledges that it bears the obligation to mail notice of any Public Hearing to all property owners within 300 feet of the property that is the subject of this Petition. Any errors by the Petitioner may result in the Petition being delayed, denied or revoked.

Todd A. Leeth
Signature of Petitioner

Todd A. Leeth, Attorney for Petitioner
Printed Name

Todd A. Leeth, Attorney for Owner
Signature of Property Owner

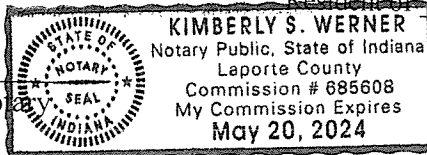
Signature of Property Owner

Subscribed and sworn to before me, a Notary in and for said County and State, personally appeared: Todd A. Leeth, and acknowledge the execution of the foregoing document, this 2nd day of March, 2018.

Kimberly S. Werner
NOTARY PUBLIC

My Commission Expires: _____
Resident of _____ County

Type or Print name of Notary



212 Lincolnway LLC
212 Lincolnway
Valparaiso, IN 46383

Atrium Apartments Llc
359 Lincolnway
Valparaiso, IN 46383

Euclydes G Azevedo
177 Cimarron Dr
Valparaiso, IN 46385

Euclydes G 1/2 & Ismael Mart Azevedo
177 Cimarron Dr
Valparaiso, IN 46385

Patricia Berning
222 Lincolnway
Valparaiso, IN 46383

Patricia L Berning
403 Monroe St
Valparaiso, IN 46383

Jeffrey Lee & Charlotte Dia Bradney
156 Valparaiso St
Valparaiso, IN 46383

Dennis D & Phyllis A Brandy
1201 Calumet Ave
Valparaiso, IN 46383

Kevin D & Karynj Breitzke
406 Indiana Ave
Valparaiso, IN 46383

Trust No. 4
5105 Garden Gtwy
Valparaiso, IN 46383

Citizens For Mental Health In Porte
402 Indiana Ave
Valparaiso, IN 46383

City of Valparaiso Indiana
c/o Board of Works
166 W Lincolnway
Valparaiso, IN 46383

Stephen F & Nancy Gobin Clarke
405 Indiana Ave
Valparaiso, IN 46383

Custom Housing Options 2 LLC
PO Box 423
Valparaiso, IN 46384

Davidson Manors Inc
208 Indiana Ave
Valparaiso, IN 46383

Sharon R Earley
304 Monroe St
Valparaiso, IN 46383

Ginalin F Eichelberg
401 Monroe St
Valparaiso, IN 46383

James Thomas Frank Sr Living Trust
6744 Creekridge Trl
Indianapolis, IN 46256

Jaclyn Marie Gabrysiak
403 Indiana Ave
Valparaiso, IN 46383

David Gamble
402 Monroe St
Valparaiso, IN 46383

Anthony M Gengo
218 Lincolnway
Valparaiso, IN 46383

Pensacola Properties LLC
203 Monroe St
Valparaiso, IN 46383

Mario A & Gonzalez Ricardo Gonzalez
48 Warren Dr
Valparaiso, IN 46385

Dennis C & Hain Judith A Hain
2803 Boilermaker Ct Ste 2A
Valparaiso, IN 46383

David P Jankowski
2655 Kildare Ct
Valparaiso, IN 46385

Phillip Jenkins
420 E. 415 N.
Valparaiso, IN 46383

Colette Jeselskis
1418 Edgewater Beach Rd
Valparaiso, IN 46383

Chris & Jennifer R Knight
154 Morgan Blvd
Valparaiso, IN 46383

WG3 LLC
c/o Scott M. Wagenblast
111 Johnson Dr.
Valparaiso, IN 46383

Jane F Lintner
157 Morgan Blvd
Valparaiso, IN 46383

Margo F Maples
2952 Sager Rd
Valparaiso, IN 46383

Ronnie W & Margo F Maples
2952 Sager Rd
Valparaiso, IN 46383

Michael & Beth Martin
204 Sunflower Dr
Valparaiso, IN 46383

Javier Roman Mendez
157 Valparaiso St
Valparaiso, IN 46383

John C Monk
1583 Saugus Close
Valparaiso, IN 46385

Shides LLC
2453 S. State Road 2
Valparaiso, IN 46385

Prisoner And Community Together Inc
254 Morgan Blvd
Valparaiso, IN 46383

Reid Services LLC
2406 Eisenhower Ave
Valparaiso, IN 46383

Jud Reidy Realty LLC
455 Sturdy Rd Lot 66
Valparaiso, IN 46383

Karl Robert Bruce & Allison Schmitt
205 Monroe St
Valparaiso, IN 46383

Asiana Properties LLC
3455 Campania Dr.
Valparaiso, IN 46385

Tezak Investments LLC
310 Lincolnway
Valparaiso, IN 46383

Valparaiso City Of
166 Lincolnway
Valparaiso, IN 46383

Valparaiso Partners LLC
259 Indiana Ave
Valparaiso, IN 46383

Gary J Living Trust 1/2 & Wasemann
77 W Division Rd
Valparaiso, IN 46385

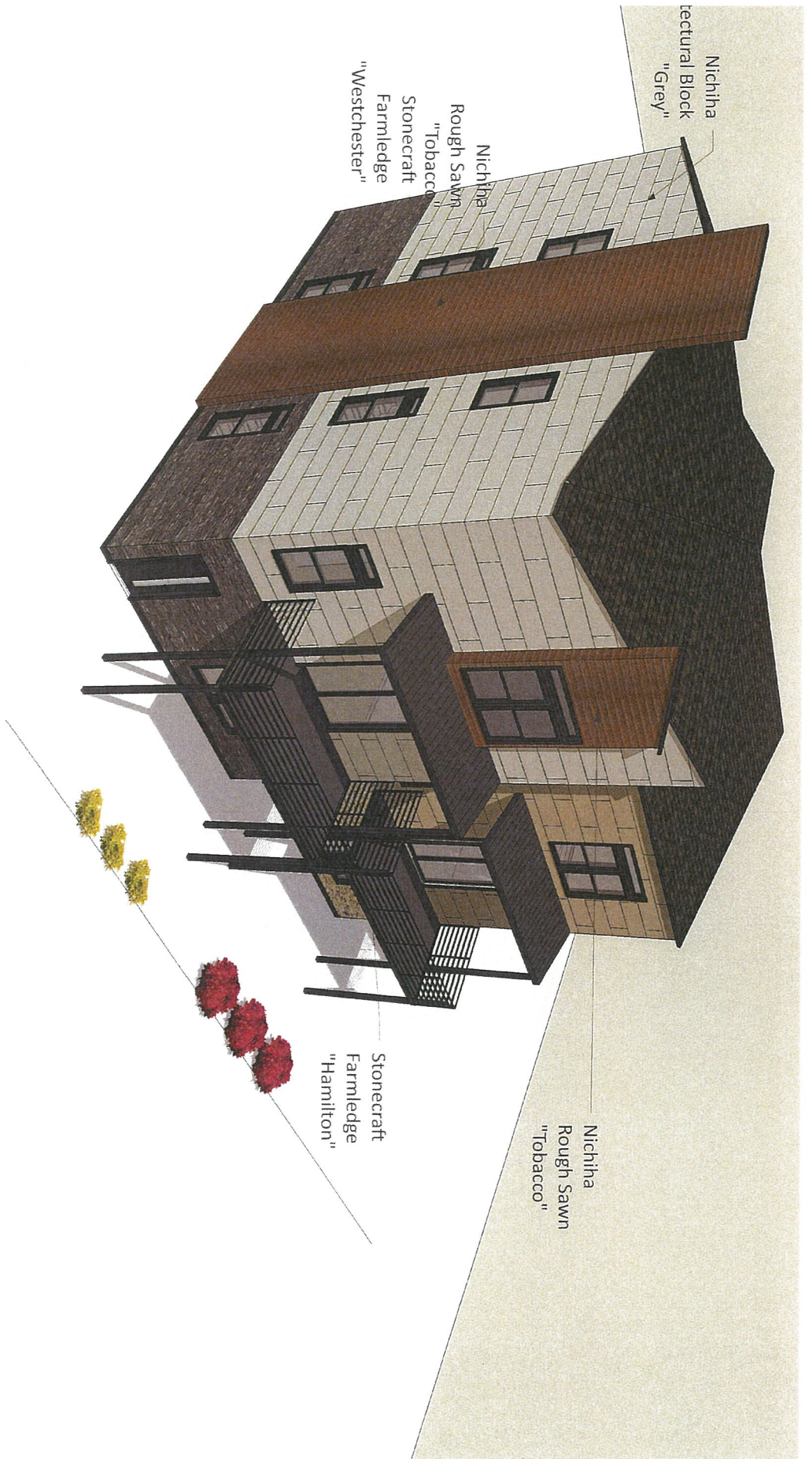
Roy U Jr & Marissa R Wilson
59 Appletree Ln
Valparaiso, IN 46383

LJF INVESTMENTS, LLC
LEGAL DESCRIPTION
EXHIBIT A

Commencing at a point on the North line of Outlot 5 of the Original Survey of Valparaiso which is 52.67 feet East of the Northwest corner of said Outlot 5 and 50 feet West of the Northeast corner of Lot 3 of said Outlot 5; thence South parallel to the West line of said Outlot 5, 66.0 feet; thence East parallel to the North line of said Outlot 5, 50.0 feet; thence North parallel to the said West line 66.0 feet to said North line; thence West 50.0 feet to the Point of Commencement.

Commencing at the Northwest corner of Out Lot 5 of the Original Survey of the Town, now City, of Valparaiso, Indiana, and running thence East 65 feet to a point 50 West of the Northeast corner of Lot 3 in said Out Lot 5; thence South 66 feet; thence West 65 feet to the West line of said Out Lot 5; thence North 66 feet to the place of beginning.

A part of Out Lot 5 in the Original Survey of the Town, now City, of Valparaiso, Indiana, as per plat thereof, recorded in Deed Record "A", page 621, in the Office of the Recorder of Porter County, Indiana, described as: Commencing at a point on the West line of said Out Lot 5 which is 4 rods South of the Northwest corner thereof, and running hence East 102.67 feet; thence South 66 feet; thence West 102.67 feet; thence North 66 feet to the place of beginning.



Nichiha
Textural Block
"Grey"

Nichiha
Rough Sawn
"Tobacco"
Stonecraft
Farmledge
"Westchester"

Nichiha
Rough Sawn
"Tobacco"

Stonecraft
Farmledge
"Hamilton"





Nichiha
Architectural Block
"Grey"

Nichiha
Rough Sawn
"Tobacco"

Stonecraft
Farmledge
"Westchester"

Nichiha
Rough Sawn
"Tobacco"

Nichiha
Architectural Block
"Tuscan"

Stonecraft
Farmledge
"Hamilton"

Petition #: VAR18-008

**PETITION TO
VALPARAISO BOARD OF ZONING APPEALS**

The Petition shall be filed in duplicate with the City Clerk-Treasurer a minimum of 25 days prior to the date of the next Board of Zoning Appeals ("BZA") meeting. The BZA meets every third Tuesday of the month at 7:00 PM in City Hall, 166 Lincolnway, Valparaiso. The Petitioner and/or his/her representative must be present at the public hearing. The filing fee must be paid to the City Clerk-Treasurer upon filing a complete Petition. Please submit nine (9) copies of this petition.

PLEASE COMPLETE THE FOLLOWING:

The undersigned Petitioner and owner(s) of real estate, identified within this application as property within the jurisdiction of the City, respectfully petition the Board of Zoning Appeals to consider;

- ☐ 1. Relief to an Administrative decision. (Exhibit No. ☐)
- ☒ 2. Variance(s) from the development standards.
- ☐ 3. Variance of the use from the terms of the Zoning Ordinances.
- ☐ 4. Petition for Special Exception.
- ☐ 5. Special Exception from Home Occupation.
- ☐ 6. Conditional Use.

In support of an application for **Variance(s) from the Development Standards**, the Petitioner states that the granting of such request:

- ☒ Will not be injurious to the health, safety, morals, and general welfare of the community;
- ☒ Will not affect the use and value of the area adjacent to the property included in the variance in a substantially adverse manner; and arise from practical difficulties in the use of the property in conformity with the Zoning Ordinance.
- ☒ Petitioner will comply with all ordinance parking requirements.

In support of an application for a **Use Variance**, the Petitioner states that the granting of such request:

- ☐ Will not be injurious to the health, safety, morals, and general welfare of the community;
- ☐ Will not affect the use and value of the area adjacent to the property included in the variance in a substantially adverse manner; and arise from practical difficulties in the use of the property in conformity with the Zoning Ordinance.
- ☐ Arise from a condition peculiar to the property;

____ Arises from unnecessary hardships if the Zoning Ordinance is strictly applied; and
____ Does not interfere substantially with the Comprehensive Plan adopted.
____ Petitioner will comply with all ordinance parking requirements.
In Support of an application for **Special Exception**, the Petitioner states that the granting of such request:

____ Will not generate excessive vehicular traffic on minor residential streets;
____ Will not create vehicular parking or traffic problems;
____ Appropriate access roads, drives, utilities, drainage, facilities, and other necessary facilities have been or will be installed;
____ Will make a substantial contribution to the neighborhood environment and will not infringe on the rights of properties in the vicinity of the expected use;
____ Will comply with the requirements of the district in which proposed use is to be located.
____ Petitioner will comply with all ordinance parking requirements.

In support of such application for **Special Exception for Home Occupation**, Petitioner states:

____ That no person other than members of the family residing on the premises will be engaged in the home occupation.
____ That the use of the dwelling unit for home occupation will be clearly incidental and subordinate to its use for residential purposes and not more than 25% of the floor area of the dwelling will be used in the conduct of the home occupation.
____ That there will be no change in the outside appearance of the building or premises, or other visible evidence of the conduct of such home occupation, other than one sign-such sign not exceeding two square feet in area, non-illuminated and containing only the name and nature of the business.
____ That no home occupation will be conducted in any accessory building.
____ That there will be no sales area unless specifically permitted by the BZA.
____ That no traffic will be generated by such home occupation in greater volume than would normally be expected in a residential neighborhood and any need for parking generated by the conduct of such home occupation will be met by required or permitted parking spaces, and will not be in the front yard.
____ That no equipment or process will be used which creates noise, vibration, glare, fumes, odors, or electrical interference detectable to the normal senses which can be detected off premises.

PETITIONER:

MM Valpo LLC c/o Marc Realty 55 E. Jackson St.,Ste 500, Chicago, IL 60604

Name (Please Print)	Address	Phone
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OWNER OF SUBJECT PROPERTY:

MM Valpo LLC c/o Marc Realty 55 E. Jackson St.,Ste 500, Chicago, IL 60604

Name (Please Print)	Address	Phone
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ADDRESS OF SUBJECT PROPERTY: 3155 State Road 49, Valparaiso, IN 46383
Subject property fronts on the E side between (streets) State Road 49
in the INH Zoning District.

Legal Description of Subject Property: (Exhibit No. A)

DESCRIPTION OF PROPOSED PROJECT INCLUDING, NEW CONSTRUCTION, ADDITION, ALTERATION, OR CHANGE OF USE: (Exhibit No. A)

Section (3) of the Zoning Ordinance from which a Variance, Special Exception, or Administrative Relief is sought:

Article: 3 Section: 3.505 Paragraph: B Item: 4
: _____ : _____ : _____ : _____
: _____ : _____ : _____ : _____

Attach a Site Plot Plan drawn to scale showing:

- a. scale
- b. lot: shape, location, dimension, and area
- c. existing improvements on the lot (including, structures, sidewalks, & driveways) and the percent coverage of improvements on the lot
- d. distance for lot lines, right-of-way lines, or easements to any structure for: front, back and side yards

Please fill in:

Front Setback 25 Rear Setback 30 Side Setbacks 15 / 15 Lot Coverage _____
Height Less than 50 ft.

The powers and duties of the Board of Zoning Appeals are provided for and limited by Enabling Acts in Indiana Code 36-7-4-900 et. eq.. The public hearing procedures are similar to a courtroom hearing. Although it is not required that the Petitioner represented by legal counsel, information and documentation pertaining to the petitioner should be prepared as if it were to become part of a court hearing. **Although the office of the City Planner is available to assist the Petitioner, it is the Petitioner's responsibility to request and prepare the appropriate variance petition.** The Planning Department can be contacted Monday-Friday between 8:30 – 4:30 at (219) 462-1161.

Petitions will not be scheduled for public hearing unless all legal and procedural requirements have been met.

STAFF USE ONLY

Date Received _____

- _____ Names and Addresses of property owners within 300 feet provided
- _____ Signature notarized
- _____ Site Plan attached
- _____ Legal Description (Not Abbreviated) Provided
- _____ Petition Filed Complete
- _____ Written Description of Project
- _____ Petitioners Affidavit of Notice
- _____ Findings of Fact
- _____ Photo's of Property (Staff Request)
- _____ Landscape Plan (Staff Request)

Date approved for Public Hearing _____, _____

BZA Application Fees

_____ Use Variance	\$200
_____ Single Family Development Standards Variance	\$50
X _____ Commercial Development Standards Variance	\$150
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_____ Relief to an Administrative Decision	\$200
_____ Special Meeting	\$1000
_____ Conditional Use	\$100
_____ Wireless Communications Facility Special Use – Major	\$500
_____ Wireless Communications Facility RF Tech Study Fee	\$ Actual cost of study

TOTAL FEE \$150

LEGAL DESCRIPTION:

Lot 1 in Pratt Properties, Inc. Excess Land Minor Subdivision, being a subdivision of the north half of the S.W. Quarter of Section 32, Township 35 North, Range 5 West of the Second Principle Meridian, in Washington Township, Porter County, Indiana, as per the Plat thereof, recorded in Plat file 52-B-5 in the Office of the Recorded of Porter County, Indiana

PROJECT DESCRIPTION:

Pratt intends to construct a large addition on the south side of the existing paper mill to provide additional area for product storage. To facilitate efficient transport of product from paper mill to box factory, Pratt desires to construct an enclosed connection between the buildings to house a conveyor system. The conveyor would span across the property line common the MM Valpo, LLC (Box Factory) and Pratt Paper (IN), LLC (Paper Mill) and encroach into the setback lines associated with said property line. Variance requested is to span a property line encroach into building setbacks.

SURROUNDING PROPERTY OWNER LIST

List the name and address of all property owners who have received notification below
(Use Additional Sheets if Necessary):

(Please Print)

Name

Address

Porter Co. Agricultural Society 217 E. Division Rd., Valparaiso, IN 46383

Commissioners of Porter Co. 3355 Bertholet Blvd., Valparaiso, IN 46383

Commissioners of Porter Co. 155 Indiana Ave., RM. 205, Valparaiso, IN 46383

Porter Co. Jail Bldg. Corp. 155 Indiana Ave., RM. 205, Valparaiso, IN 46383

Walsh & Kelly, Inc. 1700 E. Main St., Griffith, IN 46319

Last updated 1/16/18

Variance from Development Standards
Findings of Fact
(Please Print)

Petitioner submits that:

A. The proposed variance from the Development Standards will not be injurious to the public health, safety, morals, and general welfare of the community because: _____
The proposed connection encroaches into the set back lines and will also
connect the existing buildings. The building encroachment does not cause
any health, safety, or moral impacts to the surrounding properties.

B. The use and value of the area adjacent to the property included in the proposed variance will not be affected in a substantially adverse manner because: _____
The proposed connection is internal to the land owned by Pratt Paper (IN)
LLC. and will not impact adjacent property owners in an adverse way.

C. The strict application of the terms of the zoning ordinance will result in particular difficulties in the use of the property included in the proposed variance because: _____
Without the variance, there is a decrease in production efficiency and an
increase in both production costs and manpower needed to transport the
product from one building to another.

The Petitioner carries the burden of proving to the Board of Zoning Appeals the existence of each and every one of the elements listed above.

Certificate of Petitioner

Please read and sign the following statement:

I, the Petitioner (and Property Owner, if separate), understand that I and/or my representative must be present at the public hearing. Should I fail to appear, the BZA, in my absence, may consider and take action on my Petition. If the Petitioner is not the owner of the property that is the basis of this Petition, the signature of the Property Owner(s) constitutes authorization for the Petitioner to speak and act on behalf of the Property Owner(s). The Petitioner certifies that neither the Petitioner nor any attachments or exhibits submitted contains any known intentional misrepresentations or intentionally misleading statements. All information submitted is accurate, true and correct to the best of the Petitioner's knowledge. The providing of false and/or inaccurate information on this Petition or during any proceedings before the BZA may result in the denial of the request or the revocation of the request, should a Petition be granted. Similarly, if as part of any granted Petition, the BZA places any restrictions and/or limitations, I acknowledge that my failure to comply with such restrictions/limitations shall be grounds to revoke any granted Petition. The Petitioner acknowledges that it bears the obligation to mail notice of any Public Hearing to all property owners within 300 feet of the property that is the subject of this Petition. Any errors by the Petitioner may result in the Petition being delayed, denied or revoked.

Gerald Lee Nudo
Signature of Petitioner

Gerald Lee Nudo
Printed Name

Gerald Lee Nudo
Signature of Property Owner

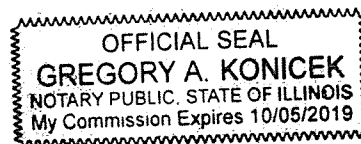
Gerald Lee Nudo
Signature of Property Owner

Subscribed and sworn to before me, a Notary in and for said County and State, personally appeared: Gerald Lee Nudo, and acknowledge the execution of the foregoing document, this 22 day of MARCH, 2018.

Gregory A. Konicek
NOTARY PUBLIC

My Commission Expires: 10/5/2019
Resident of COOK County

GREGORY A. KONICEK
Type or Print name of Notary



PROJECT DESCRIPTION:

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C:\Projects\2018\18-0245 Pratt Paper (IN), LLC\Survey\Drawings\18-0245 EXHIBIT.dwg, EXHIBIT, 3/23/2018 6:55:36 AM, Bluebeam PDF, ANSI_B_11.00_xc_17.00_inches, 1:1

