

.MEETING AGENDA

**Valparaiso Board of Zoning Appeals
Tuesday, February 19th, 2019, 7:00 PM
653 Hayes Leonard Road**

1. Roll Call

2. Old Business

VAR18-027 – A petition filed by ICU Outdoor Advertising, 555 Eastport Center Drive, Suite D, Valparaiso, IN 46383. The petitioner requests a variance from Article 5, Section 5.302, of the Valparaiso Unified Development Ordinance, to allow for an internally illuminated sign in a residential zoning district. A variance from Article 5, Section 5.302 to vary the required maximum sign area for an institution from the maximum thirty-six (36) square feet, to allow for a total of 128.90 sq ft of on-site signage, 38.16 sq. ft. for monument ground sign and 92.9 sq. ft. for wall sign. The property is located at 1755 W. Harrison Blvd, in the Suburban Residential (SR) Zoning District.

3. New Business

VAR18-026/UV18-003 – A petition filed by Stack's LLC c/o Bill Ferngren, Ferngren Law, 570 Vale Park Road, Suite B, Valparaiso, IN 47385. The petitioner requests a use variance from Article 2, Section 2., of the Valparaiso Unified Development Ordinance, to allow for rooftop dining to be a permitted functionally similar use in the Central Business District. A variance from Article 5, Section 5.303(D), to vary the required sign setback of five (5) feet from the property line, to allow for sign to encroach five (5) feet over the property line. A variance from Article 5, Section 5.303(E)(2)(b), to vary the required location of signage between the top of the ground floor windows and twelve (12) inches below the bottom sill of the second-floor windows, to allow for signage outside of the sign band area and to be constructed with metal, fiberglass and similar construction materials. A variance from Article 5, Section 5.303(G)(1)(b), to vary the that no sign shall project more than 45 inches in to the public way, to allow for a sign to project 60 inches in the public way. A variance from Article 5, Section 5.303(G)(3)(d), to vary the maximum sign thickness for a projecting sign of 1-1/2 inches, to allow for a projecting sign width of 12 inches. A variance from Article 5, Section 5.303 (G)(3)(d), to allow for a projecting sign to be closer than 12 inches to a line extended vertically from a public alley. A variance from Article 5, Section (G)(3)(e), to vary the maximum sign

surface area of eight (8) square feet for a projecting sign, to allow for a projecting sign area of 30 square feet for a projecting sign. A variance from Article 5, Section (G)(3)(a), to vary the maximum number of projection signs of one (1) per building tenant, to allow Stack's Restaurant two (2) projection signs. A variance from Article 5, Section (H), to allow for an internally illuminated sign in the CBD district. A variance from Article 11, Section 11.507, to allow for pre-fabricated metal siding be the predominate exterior building material. The property is located at 175 Lincolnway, in the CBD, Central Business District zoning district.

VAR19-001 - A petition filed by Carolina Creek Development, LLC, c/o Daniel J. Haarmann, 2201 N. Willenborg St., Suite 2, Effingham, IL 62401. The petitioner requests a variance from Article 11, Section 11.502(A), of the Valparaiso Unified Development Ordinance, to vary the required offsets of either 20 feet or 20 percent of the building façade facing a right-of-way. A variance from Article 11, Section 11.507 (E1), to allow for pre-fabricated metal siding to be the predominate exterior building material on the building wall(s) that face a right-of-way, for the warehouse building expansion. A variance from Article 11, Section 11.508 (C), to allow for a sloped duro-last membrane roof to match the existing roof material. The property is located at 2700 Evans Avenue, in the Light Industrial (INL) Zoning District.

VAR19-002 - A petition filed by Donald R. Huff and Patricia A. Huff c/o Todd A. Leeth Hoepfner Wagner & Evans LLP, 103 E. Lincolnway, Valparaiso, IN 46383. The petitioner requests a variance from Article 3, Section 3.501(C1), of the Valparaiso Unified Development Ordinance, to allow for a single-family home with an attached accessory unit to be permit within an existing plat subdivision. A variance from Article 3, Section 3.501(C2), to allow for an attached accessory unit without additional landscape buffers between adjoining properties. A variance from Article 3, Section 3.501(C3), to vary maximum floor area of an accessory unit of 20 percent of the total floor area, to allow for a floor area of 94 percent for the accessory unit. A variance from Article 3, Section 501(C3), to vary the maximum number of bedrooms in an accessory unit from one (1), to allow for an accessory unit with two (2) bedrooms. A variance from Article 9, Table 9.201, to vary the required four (4) on-site parking spaces, to allow for three (3) on-site parking spaces for the single-family home and accessory unit. The property is located at 818 Jefferson Street, in the Neighborhood Conservation (NC-60) Zoning District.

4. Adjournment

Michael Micka, President – Board of Zoning Appeals
Tyler Kent, Planning Director



Planning Department
166 Lincolnway
Valparaiso, IN 46383
Phone: (219) 462-1161
Fax: (219) 464-4273
www.valpo.us

Next Meeting: March 19th, 2019

Our City...Our Values

Honestly Accountable Surprisingly Responsive Boldly Proactive Creatively Frugal Respectfully Compassionate

Petition #: VAL18-027

**PETITION TO
VALPARAISO BOARD OF ZONING APPEALS**

The Petition shall be filed in duplicate with the City Clerk-Treasurer a minimum of 25 days prior to the date of the next Board of Zoning Appeals ("BZA") meeting. The BZA meets every third Tuesday of the month at 7:00 PM in City Hall, 166 Lincolnway, Valparaiso. The Petitioner and/or his/her representative must be present at the public hearing. The filing fee must be paid to the City Clerk-Treasurer upon filing a complete Petition. Please submit nine (9) copies of this petition.

PLEASE COMPLETE THE FOLLOWING:

The undersigned Petitioner and owner(s) of real estate, identified within this application as property within the jurisdiction of the City, respectfully petition the Board of Zoning Appeals to consider;

- ☐ 1. Relief to an Administrative decision. (Exhibit No. ☐)
- ☒ 2. Variance(s) from the development standards.
- ☐ 3. Variance of the use from the terms of the Zoning Ordinances.
- ☐ 4. Petition for Special Exception.
- ☐ 5. Special Exception from Home Occupation.
- ☐ 6. Conditional Use.

In support of an application for **Variance(s) from the Development Standards**, the Petitioner states that the granting of such request:

- ☒ Will not be injurious to the health, safety, morals, and general welfare of the community;
- ☒ Will not affect the use and value of the area adjacent to the property included in the variance in a substantially adverse manner; and arise from practical difficulties in the use of the property in conformity with the Zoning Ordinance.
- ☒ Petitioner will comply with all ordinance parking requirements.

In support of an application for a **Use Variance**, the Petitioner states that the granting of such request:

- ☐ Will not be injurious to the health, safety, morals, and general welfare of the community;
- ☐ Will not affect the use and value of the area adjacent to the property included in the variance in a substantially adverse manner; and arise from practical difficulties in the use of the property in conformity with the Zoning Ordinance.
- ☐ Arise from a condition peculiar to the property;

- ___ Arises from unnecessary hardships if the Zoning Ordinance is strictly applied; and
- ___ Does not interfere substantially with the Comprehensive Plan adopted.
- ___ Petitioner will comply with all ordinance parking requirements.

In Support of an application for **Special Exception**, the Petitioner states that the granting of such request:

- ___ Will not generate excessive vehicular traffic on minor residential streets;
- ___ Will not create vehicular parking or traffic problems;
- ___ Appropriate access roads, drives, utilities, drainage, facilities, and other necessary facilities have been or will be installed;
- ___ Will make a substantial contribution to the neighborhood environment and will not infringe on the rights of properties in the vicinity of the expected use;
- ___ Will comply with the requirements of the district in which proposed use is to be located.
- ___ Petitioner will comply with all ordinance parking requirements.

In support of such application for **Special Exception for Home Occupation**, Petitioner states:

- ___ That no person other than members of the family residing on the premises will be engaged in the home occupation.
- ___ That the use of the dwelling unit for home occupation will be clearly incidental and subordinate to its use for residential purposes and not more than 25% of the floor area of the dwelling will be used in the conduct of the home occupation.
- ___ That there will be no change in the outside appearance of the building or premises, or other visible evidence of the conduct of such home occupation, other than one sign-such sign not exceeding two square feet in area, non-illuminated and containing only the name and nature of the business.
- ___ That no home occupation will be conducted in any accessory building.
- ___ That there will be no sales area unless specifically permitted by the BZA.
- ___ That no traffic will be generated by such home occupation in greater volume than would normally be expected in a residential neighborhood and any need for parking generated by the conduct of such home occupation will be met by required or permitted parking spaces, and will not be in the front yard.
- ___ That no equipment or process will be used which creates noise, vibration, glare, fumes, odors, or electrical interference detectable to the normal senses which can be detected off premises.

PETITIONER:

ICU Outdoor Advertising : 555 Eastport Centre Dr. - STE D
 Name (Please Print) Address Phone 219 464 0420 (x1)

OWNER OF SUBJECT PROPERTY:

Church Bishop of the Diocese of Gary : 1755 W. Harrison Blvd
 Name (Please Print) Address Phone 219 467 3374

ADDRESS OF SUBJECT PROPERTY: 1755 W. Harrison Blvd.

Subject property fronts on the South side between (streets) OLD OAK DR. & William Dr.
 in the SR Zoning District.

Legal Description of Subject Property: (Exhibit No. 1)

(See ATTACHED)

DESCRIPTION OF PROPOSED PROJECT INCLUDING, NEW CONSTRUCTION, ADDITION, ALTERATION, OR CHANGE OF USE: (Exhibit No.)

- Installation of (1) one set of non-illuminated wall letters for Saint Paul Catholic School & Education Center - LY-0492-1A
- Installation of replacement monument sign with full color LED message board - LY-0492-3F

Section (3) of the Zoning Ordinance from which a Variance, Special Exception, or Administrative Relief is sought:

Article: Section: Paragraph: Item:
: : : :
: : : :

Attach a Site Plot Plan drawn to scale showing:

- a. scale
- b. lot: shape, location, dimension, and area
- c. existing improvements on the lot (including, structures, sidewalks, & driveways) and the percent coverage of improvements on the lot
- d. distance for lot lines, right-of-way lines, or easements to any structure for: front, back and side yards

Please fill in:

Front Setback Rear Setback Side Setbacks / Lot Coverage
Height

The powers and duties of the Board of Zoning Appeals are provided for and limited by Enabling Acts in Indiana Code 36-7-4-900 et. seq.. The public hearing procedures are similar to a courtroom hearing. Although it is not required that the Petitioner represented by legal counsel, information and documentation pertaining to the petitioner should be prepared as if it were to become part of a court hearing. **Although the office of the City Planner is available to assist the Petitioner, it is the Petitioner's responsibility to request and prepare the appropriate variance petition.** The Planning Department can be contacted Monday-Friday between 8:30 – 4:30 at (219) 462-1161.

Petitions will not be scheduled for public hearing unless all legal and procedural requirements have been met.

Exhibit No. 1

2004-037360

STATE OF INDIANA
PORTER COUNTY
FILED FOR RECORD

11/19/2004 11:28AM

LINDA D. TRINKLER
RECORDER

DEDICATION OF PUBLIC RIGHT-OF-WAY

Church Bishop of the Diocese of Gary, c/o St. Paul (hereinafter "Grantor"), for and in consideration of Ten Dollars (\$10.00), and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, hereby dedicates to the City of Valparaiso (hereinafter "Grantee"), for public right-of-way purposes only, the following described real estate located in Porter County, Indiana:

The North 30 feet of the following described parcels:

Parcel 1: (Warranty Deed-Book 207, Page 8 as Recorded in the Office of the Recorder of Porter County, Indiana)

All that part of the West Half of the Southwest Quarter of Section 14, Township 35 North, Range 6 West of the Second Principal Meridian, lying South of the centerline of Harrison Boulevard and North of the Northerly right-of-way line of the Grant Trunk Railroad excepting therefrom the following described parcel of land, to-wit: Beginning at a point on the West line of the West Half of the Southwest Quarter of Section 14, Township 33 North, Range 6 West, at the center of the public highway commonly known as the Old Chicago road, said Point of Beginning being approximately 40 feet South of the Northwest corner of said West Half of the Southwest Quarter Section; thence running South along the West line of said Southwest Quarter Section 502.9 feet; thence by a deflection angle of 90° to the left 319.3 feet; thence by a deflection angle of $21^{\circ}22'$ to the left 239.3 feet; thence by a deflection angle of $37^{\circ}10'$ to the right 116.09 feet; thence by a deflection angle of $87^{\circ}20'$ to the right 398 feet; thence by a deflection angle of $61^{\circ}20'$ to the left 87.8 feet; thence by a deflection angle of $27^{\circ}00'$ to the left 301.9 feet; thence by a deflection angle of $90^{\circ}00'$ to the left 103.4 feet; thence by a deflection angle of $85^{\circ}00'$ to the left 85.9 feet; thence by a deflection angle of $60^{\circ}50'$ to the right 257.5 feet; thence by a deflection angle of $22^{\circ}48'$ to the right 174.7 feet to the center line of aforesaid Old Chicago Road; thence by a deflection angle of $79^{\circ}50'$ to the left along the center line of said road 1004.25 feet to the Point of Beginning; and exception containing 8.70

Valpo ✓

✓

acres, more or less, and above parcel containing less said exception 36.59 acres more or less and subject to all legal highways and easements.

Parcel 2: (Quit-Claim Deed - Book 207 Page 9 as Recorded in the Office of the Recorder of Porter County, Indiana)

All that part of the West Half of the Southwest Quarter of Section 14, Township 35 North, Range 6 West of the Second Principal Meridian, lying South of the centerline of Harrison Boulevard and North of the Northerly right-of-way line of the Grand Trunk Railroad.

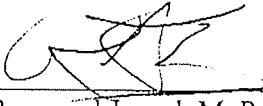
The Grantor specifically reserves for itself and its successors, assigns, and grantees (i) the right of access to, over and across said dedicated right-of-way, and (ii) the right to improve and maintain the parking lot and related facilities and appurtenances located within said dedicated right-of-way, but not expand said parking lot and related facilities and appurtenances within said dedicated right-of-way. The Grantee specifically accepts this Dedication subject to such reserved right of access and ability to improve and maintain as provided herein. This Dedication of Public Right-Of-Way is made subject to all existing easements and right-of-ways.

In Witness whereof, the Grantor has executed this Dedication of Public Right-Of-Way as of the 10th day of NOVEMBER, 2004.

Grantor:

Church Bishop of the Diocese of Gary, c/o St. Paul

By:


Reverend Joseph M. Pawlowski
Pastor of Saint Paul Church

STATE OF Indiana)
) SS:
COUNTY OF Porter)

Before me, the undersigned, a Notary Public for said county and state, personally appeared Reverend Joseph M. Pawlowski, Pastor of Saint Paul Church, on behalf of Church Bishop of the Diocese of Gary, c/o St. Paul, and being first duly sworn by me upon oath, acknowledged the execution of the foregoing Dedication of Public Right-Of-Way this 8th day of November 2004.

My Commission Expires:

2-10-08

Frances H. Pancer

Notary Public

County of Residence: Porter

FRANCES H. PANCER
NOTARY PUBLIC STATE OF INDIANA
PORTER COUNTY
MY COMMISSION EXP. FEB. 10, 2008



This Instrument Prepared By:
William A. Ferngren
Hoepfner Wagner & Evans LLP
103 E. Lincolnway
Valparaiso, Indiana 46384-2357
Telephone (219) 464-4961
Fax (219) 465-0603

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STAFF USE ONLY

Date Received _____

- _____ Names and Addresses of property owners within 300 feet provided
- _____ Signature notarized
- _____ Site Plan attached
- _____ Legal Description (Not Abbreviated) Provided
- _____ Petition Filed Complete
- _____ Written Description of Project
- _____ Petitioners Affidavit of Notice
- _____ Findings of Fact
- _____ Photo's of Property (Staff Request)
- _____ Landscape Plan (Staff Request)

Date approved for Public Hearing _____, _____

BZA Application Fees

_____ Use Variance	\$200
_____ Single Family Development Standards Variance	\$50
☒ Commercial Development Standards Variance	\$150
_____ Special Exception/Special Use	\$200
_____ Relief to an Administrative Decision	\$200
_____ Special Meeting	\$1000
_____ Conditional Use	\$100
_____ Wireless Communications Facility Special Use – Major	\$500
_____ Wireless Communications Facility RF Tech Study Fee	\$ Actual cost of study

TOTAL FEE _____

Affidavit of Consent of Property Owner

(To be presented with application for Board of Zoning Appeals)

Rev. Mayer, being dully sworn upon his/her oath, being of sound mind and legal age deposes and states:

1. That THE CHURCH DISTRICT OF BIOCAGE OF GARY ("Owner") (is/are) the legal owner(s) of real property that is the subject of a Petition before the BZA.
2. That Owner authorizes ICU outdoor Advertising ("Petitioner") to seek the relief sought in the Petition filed before the BZA. Petitioner is further authorized to commit to any reasonable restriction requested by the BZA or proposed by the Petitioner.

[Signature]
Property Owner

Dec 19, 2018
Date

Property Owner

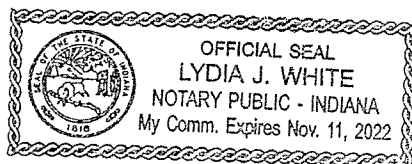
Date

Subscribed and sworn to before me this 19 day of December, 2018.

[Signature]
Notary Public

My Commission:

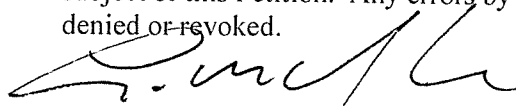
11.11.22
Date



Certificate of Petitioner

Please read and sign the following statement:

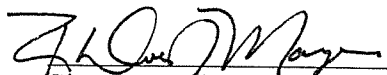
I, the Petitioner (and Property Owner, if separate), understand that I and/or my representative must be present at the public hearing. Should I fail to appear, the BZA, in my absence, may consider and take action on my Petition. If the Petitioner is not the owner of the property that is the basis of this Petition, the signature of the Property Owner(s) constitutes authorization for the Petitioner to speak and act on behalf of the Property Owner(s). The Petitioner certifies that neither the Petitioner nor any attachments or exhibits submitted contains any known intentional misrepresentations or intentionally misleading statements. All information submitted is accurate, true and correct to the best of the Petitioner's knowledge. The providing of false and/or inaccurate information on this Petition or during any proceedings before the BZA may result in the denial of the request or the revocation of the request, should a Petition be granted. Similarly, if as part of any granted Petition, the BZA places any restrictions and/or limitations, I acknowledge that my failure to comply with such restrictions/limitations shall be grounds to revoke any granted Petition. The Petitioner acknowledges that it bears the obligation to mail notice of any Public Hearing to all property owners within 300 feet of the property that is the subject of this Petition. Any errors by the Petitioner may result in the Petition being delayed, denied or revoked.



Signature of Petitioner

Lawrence M. Yurko

Printed Name



Signature of Property Owner

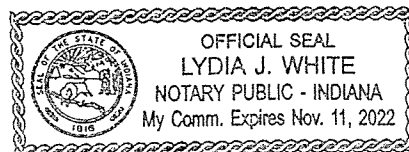
Signature of Property Owner

Subscribed and sworn to before me, a Notary in and for said County and State, personally appeared: Lawrence Yurko & Douglas Mayer, and acknowledge the execution of the foregoing document, this 19 day of Dec, 2018.

Lydia J White
NOTARY PUBLIC

My Commission Expires: 11.11.22
Resident of Porter County

Lydia J White
Type or Print name of Notary



**NOTICE OF PUBLIC HEARING
CITY OF VALPARAISO BOARD OF ZONING APPEALS**

Dear Property Owner:

This letter is to notify that the City of Valparaiso Board of Zoning Appeals will conduct a public hearing on Petition Number _____ on the _____ day of _____, 20____ at 7:00 p.m. at Valparaiso City Hall, 166 Lincolnway, City Council Chambers, to consider a request for Board of Zoning Appeals action (insert action here)_____.

The petitioner for the requested action is _____ of the (address here) _____.

The property is located in the _____ Zoning District. The subject parcel is located at (Address or Location) _____ and includes the following tract of land:

Legal Description

(Please type the street address and legal description here or attaché to the letter)

You are sent this notice as a property owner within 300 feet of the parcel. Your view on this petition may be submitted in writing to the Planning Director, or you will be given an opportunity to be heard at the above-mentioned time of the Public Hearing. All interested parties are invited to attend. To review the petition and detailed site plans, please contact the Planning Department between 8:30 a.m. and 4:30 p.m. Monday through Friday.

Correspondence to:

Tyler Kent, Planning Director

City of Valparaiso

166 Lincolnway

Valparaiso, IN 46383

Phone: (219) 462-1161 Fax: (219) 464-4273

Email: tkent@valpo.us

(all electronic mail must include name, address, and telephone number)

Respectfully,

Petitioner

Petitioner

Petitioner

Petitioner

Affidavit of Proper Public Notice for Public Hearing

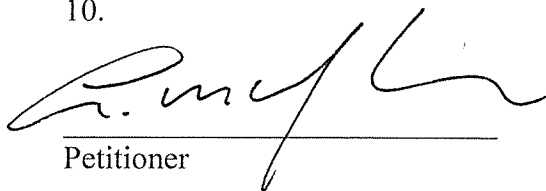
(To be presented to Board of Zoning Appeals staff or attorney at Public Hearing)

Lawrence M. Yurko, being dully sworn upon his/her oath, being of sound mind and legal age deposes and states:

1. That he/she is the AGENT (agent, attorney, owner) of the property described in the attached notice which an application for a variance has been filed before the Board of Zoning Appeals of the City of Valparaiso, Indiana
2. That on the _____ day of _____, _____, did mail at least ten 10 (10) days prior to the scheduled Public Hearing postage paid, by certified mail, return receipt requested, a letter explaining the proposed change, time, date and place of hearing and attached hereto, to all of the property owners within three hundred (300) feet from the lot lines of described real estate, as follows.

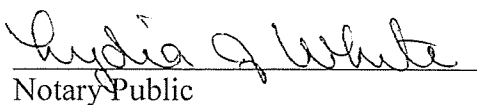
(Please attach legal description)

List the name the address of all property owners who have received notification on page 10.


Petitioner

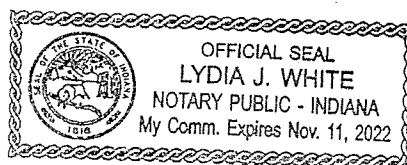
12-19-18
Date

Subscribed and sworn to before me this 19th day of December, 2018.


Notary Public

My Commission Expires

11.11.22
Date



SURROUNDING PROPERTY OWNER LIST

List the name and address of all property owners who have received notification below
(Use Additional Sheets if Necessary):

(Please Print)

Name

Address

Please see attached list of
(28) Twenty-eight.

300' Surrounding Property Owner List from 1755 W. Harrison Blvd (St. Paul Catholic Church)

1. Hreha Michael V & Mary A
11203 N 200 W.
Wheatfield, IN 46392
2. Church Bishop of the Diocese of Gary
452 Chicago Street
Valparaiso, IN 46385
3. Brandewie Helen J.
1802 Old Oak Drive
Valparaiso, IN 46385
4. Wilcox Eric L & Mary
1900 Hendon Way
Valparaiso, IN 46385
5. Manchester Meadows Property Owners
PO Box 8
Valparaiso, IN 46384
6. Manchester Meadows Property Owners
PO Box 8
Valparaiso, IN 46384
7. Soliday Edmond & Mary K
1904 William Drive
Valparaiso, IN 46385
8. Bihlman William Edward
1515 Central Street
Lafayette, IN 47905
9. Kahrs Jerry R & Joseph Katherine
1804 Old Oak Drive
Valparaiso, IN 46385
10. Bihlman William E
1515 Central Street
Lafayette, IN 47905

Cont'd Page 2

300' Surrounding Property Owners from 1755 W. Harrison BLVD
Saint Paul Catholic Church

11. Tunstall Daniel R & Vicky G
1952 Harrison Blvd.
Valparaiso, IN 46385
12. Cochran Tatiana
1751 Sherwood Ct.
Valparaiso, IN 46385
13. Burke Colleen M & Cosgrove Dr. Patri
2159 Harrison Blvd.
Valparaiso, IN 46385
14. Manchester Property Owners
PO Box 8
Valparaiso, IN 46384
15. Sorice David P
1904 Emmett Ct.
Valparaiso, IN 46385
16. Burke Colleen M & Musgrove Dr. Patri
2159 Harrison Blvd.
Valparaiso, IN 46385
17. O'Conner Kelly M. Gould Aaron
1753 Sherwood Court
Valparaiso, IN 46385
18. Rankin Wesley & Paula
1803 Old Oak Drive
Valparaiso, IN 46385
19. Smith Ronald E & Tricia
1652 Harrison Blvd.
Valparaiso, IN 46385

Cont'd Page 3

300' Surrounding Property Owner's from 1755 W. Harrison Blvd.
Saint Paul Catholic School Church

20. Church Bishop of The Diocese of Gary
452 Chicago Street
Valparaiso, IN 46385

21. Schwartz David L & Elizabeth A
1905 Emmett Court
Valparaiso, IN 46385

22. Schenck Ronald E & Melissa
1801 Old Oak Drive
Valparaiso, IN 46385

23. Rickard Kathleen M
1754 Harrison Blvd
Valparaiso, IN 46385

24. Young Richard G & Carolina A
1756 Harrison Blvd.
Valparaiso, IN 46385

25. Kusbel Francis Joseph & Lisa M
1902 William Drive
Valparaiso, IN 46385

26. Sorice David P
1904 Emmett Ct.
Valparaiso, IN 46385

27. Ohler Personal Trust
1758 Harrison Blvd.
Valparaiso, IN 46385

28. Cambell Christopher
1903 Emmett Ct.
Valparaiso, IN 46385

**Use Variance
Findings of Fact
(Please Print)**

Petitioner Submits that:

A. The proposed use variance will not be injurious to the public health, safety, morals, and general welfare of the community because: _____

Proposed signage will be fabricated & installed
with quality materials & installed by skilled installers.

B. The use and value of the area adjacent to the property included in the proposed variance will not be affected in a substantially adverse manner because: _____

The monument sign will replace the existing monument
that is very old & unsightly. The proposed
bdg. letters for the school & Education Center are
non-illuminated

C. The need for the use variance arises from the following condition peculiar to the property involved:

Our client needs to identify the school effectively
& replace the old unsightly monument sign.

D. The strict application of the terms of the zoning ordinance will constitute an unnecessary hardship if applied to the property for which the variance is sought because:

The current signage allowance of 32 sq. ft
for this parcel is not adequate for proper visibility

E. Approval of the proposed use variance does not interfere substantially with the comprehensive plan adopted by the City of Valparaiso because: _____

The proposed type & appearance of requested
signage for this site is comparable to other signage
in town.

The petitioner carries the burden of proving to the Board of Zoning Appeals the existence of each element listed above.

Variance from Development Standards

Findings of Fact

(Please Print)

Petitioner submits that:

A. The proposed variance from the Development Standards will not be injurious to the public health, safety, morals, and general welfare of the community because: _____

Proposed signage is of high quality, fabricated by skilled craftsmen with decades of sign experience.

B. The use and value of the area adjacent to the property included in the proposed variance will not be affected in a substantially adverse manner because: _____

The proposed signage will professionally identify our clients institution & will replace to old monument sign.

C. The strict application of the terms of the zoning ordinance will result in particular difficulties in the use of the property included in the proposed variance because: _____

Our client will not be able to identify said institution with readable signage.

The Petitioner carries the burden of proving to the Board of Zoning Appeals the existence of each and every one of the elements listed above.

12-18-18

Re: Saint Paul Catholic Church
Saint Paul Catholic School & Education Center

Sign Variance Request / Project Overview

I C U Outdoor Advertising is requesting BZA approval for the installation of (1) one set of non-illuminated wall letters for Saint Paul Catholic School & Education Center. Currently the school has no signage identifying on the building and has a deep need to professionally advertise the school & education center. We are proposing to install the letters on the north elevation per I C U Outdoor Advertising design LY – 0492-1A

I C U Outdoor Advertising is also requesting to remove and replace the existing internally illuminated monument sign with a new state of the art internally LED illuminated monument sign with a full color LED message board per I C U Outdoor Advertising design LY – 0492-3F

Kindest Regards,
I C U Outdoor Advertising, LLC

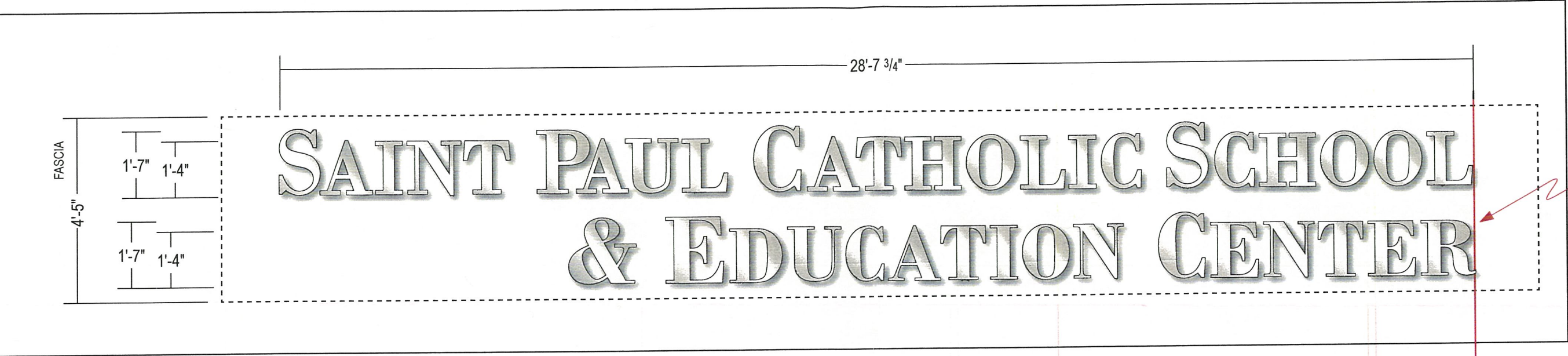


Lawrence M. Yurko
President

[Redacted signature area]

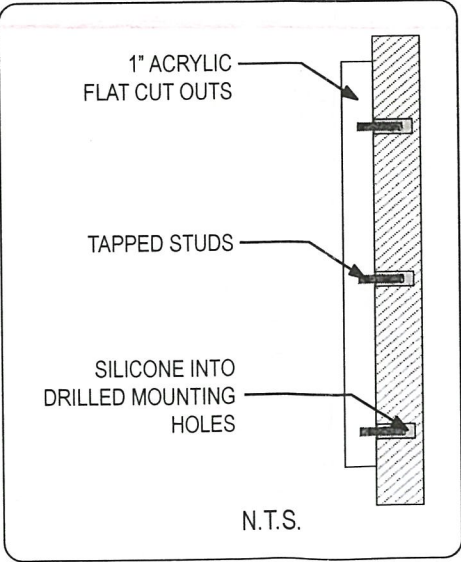
Non-Illuminated Exterior Letters

Scale: 3/8" = 1'-0"



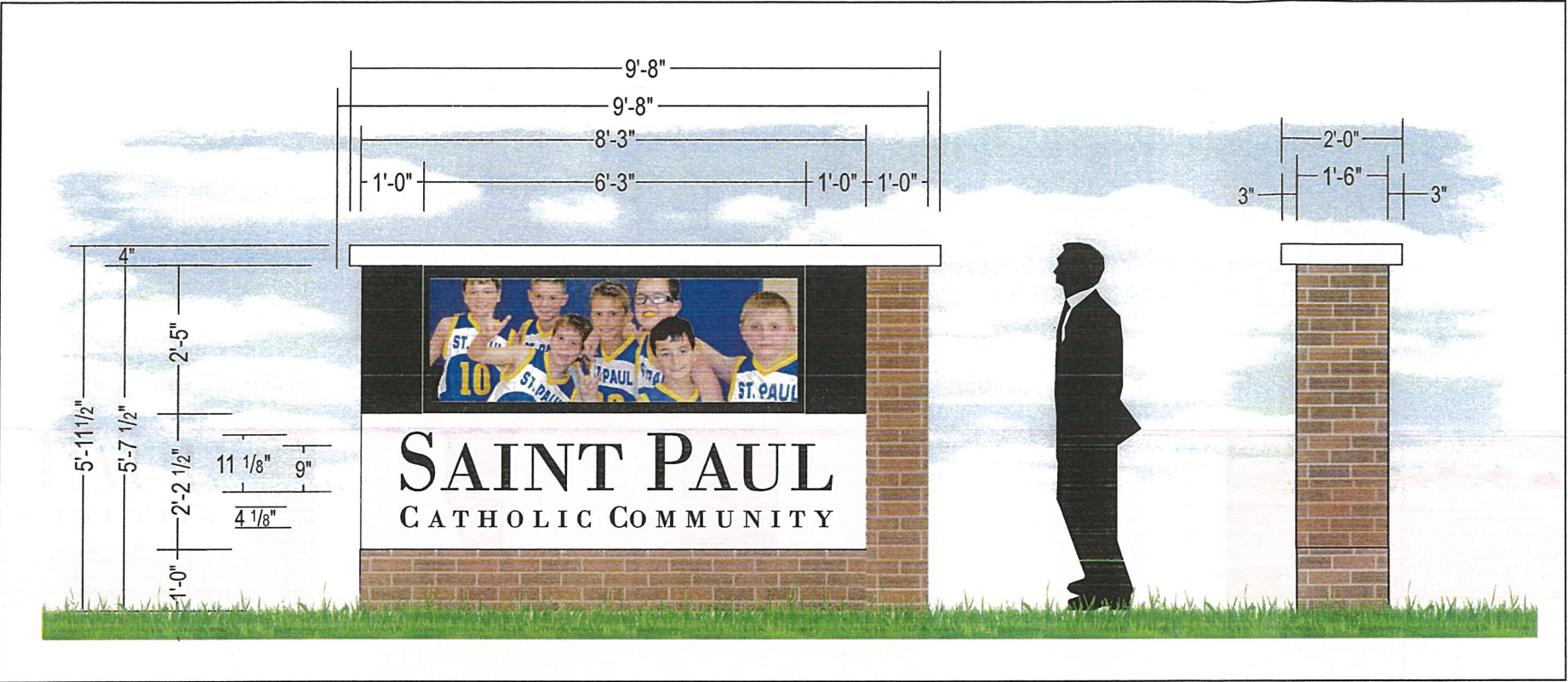
SIGN SPECIFICATIONS:

ONE SET OF NON-ILLUMINATED 1" ACRYLIC FLAT CUT OUT LETTERS - PAINTED MAP BRUSHED ALUMINUM
STUD MOUNTED FLUSH TO BRICK FASCIA



Double Face Internally Illuminated Sign

Scale: 3/8" = 1'-0"



SIGN SPECIFICATIONS:

ONE DOUBLE FACE LED INTERNALLY ILLUMINATED SIGN DISPLAY:

TWO (2) SINGLE FACE ELECTRONIC DISPLAY UNITS - FRONT VENTS

FABRICATED ALUMINUM SIGNCASE - PAINTED MAP WHITE

ROUTED FACES

ROUTED FACE BACKED WITH #2447 WHITE ACRYLIC WITH 3M BLACK PERFORATED VINYL COPY

FABRICATED ALUMINUM TOP CAP PAINTED MAP WHITE

VENEER MASONRY BY ICU

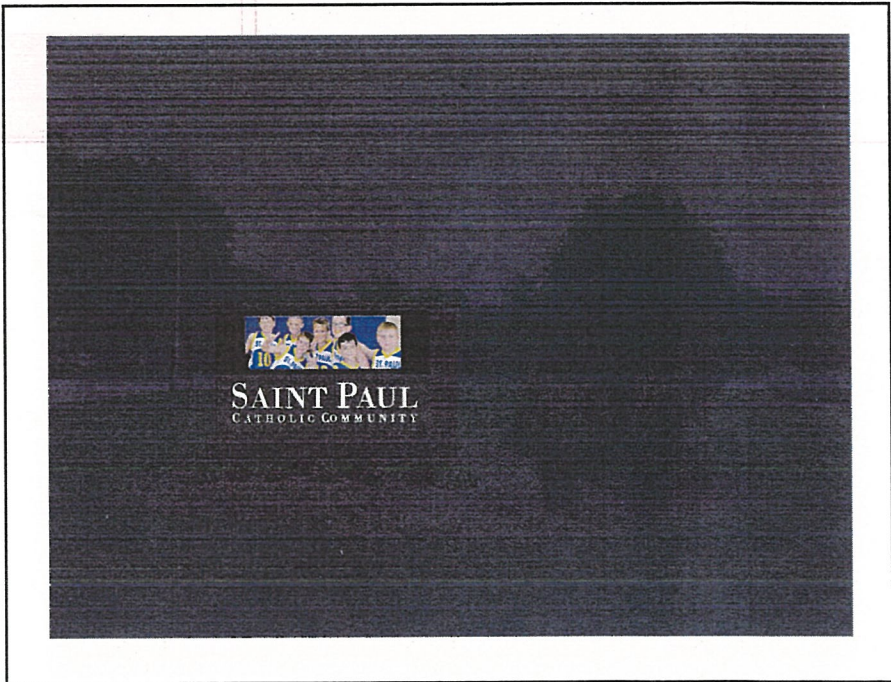
TO REPLACE EXISTING SIGN

LED Electronic Display Units

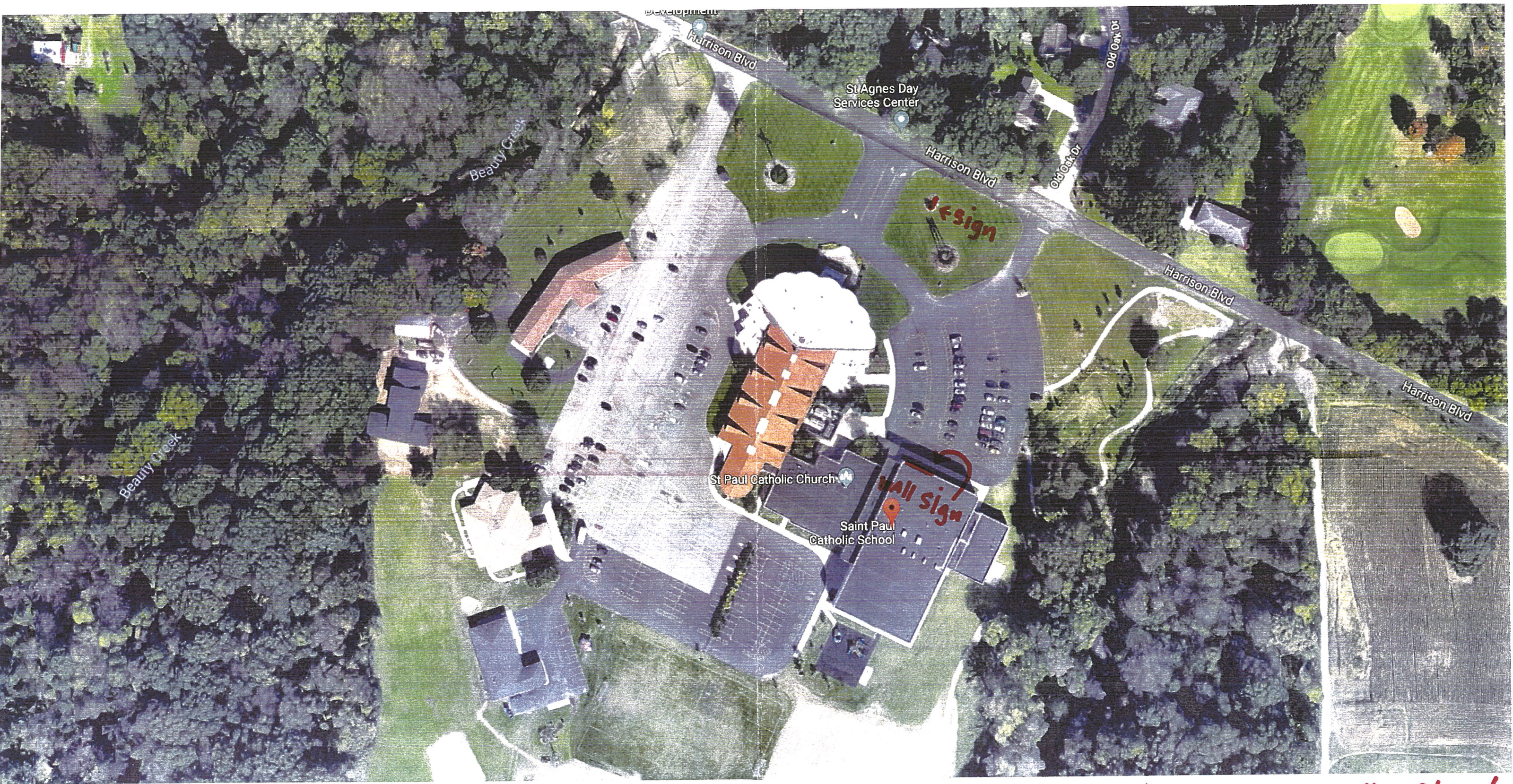
16mm 4"+ Character FULL Color 36 x 108 Matrix

Cabinet Ht: 2'-5" Cabinet Length: 6'-3"

Viewing Area: 2'-0" x 6'-0"



N



- SAINT PAUL CATHOLIC Church
- sign Locations

FILED

NOV 27 2018

Petition #: VAKIP-026/JV118-003

Sharon Emerson Schubert
Clerk-Treasurer

PETITION TO VALPARAISO BOARD OF ZONING APPEALS

The Petition shall be filed in duplicate with the City Clerk-Treasurer a minimum of 25 days prior to the date of the next Board of Zoning Appeals ("BZA") meeting. The BZA meets every third Tuesday of the month at 7:00 PM in City Hall, 166 Lincolnway, Valparaiso. The Petitioner and/or his/her representative must be present at the public hearing. The filing fee must be paid to the City Clerk-Treasurer upon filing a complete Petition. Please submit nine (9) copies of this petition.

PLEASE COMPLETE THE FOLLOWING:

The undersigned Petitioner and owner(s) of real estate, identified within this application as property within the jurisdiction of the City, respectfully petition the Board of Zoning Appeals to consider;

- ☐ 1. Relief to an Administrative decision. (Exhibit No. ☐)
- ☒ 2. Variance(s) from the development standards.
- ☒ 3. Variance of the use from the terms of the Zoning Ordinances.
- ☐ 4. Petition for Special Exception.
- ☐ 5. Special Exception from Home Occupation.
- ☐ 6. Conditional Use.

In support of an application for **Variance(s) from the Development Standards**, the Petitioner states that the granting of such request:

- ☒ Will not be injurious to the health, safety, morals, and general welfare of the community;
- ☒ Will not affect the use and value of the area adjacent to the property included in the variance in a substantially adverse manner; and arise from practical difficulties in the use of the property in conformity with the Zoning Ordinance.
- ☒ Petitioner will comply with all ordinance parking requirements.

In support of an application for a **Use Variance**, the Petitioner states that the granting of such request:

- ☒ Will not be injurious to the health, safety, morals, and general welfare of the community;
- ☒ Will not affect the use and value of the area adjacent to the property included in the variance in a substantially adverse manner; and arise from practical difficulties in the use of the property in conformity with the Zoning Ordinance.
- ☒ Arise from a condition peculiar to the property;

- ☒ Arises from unnecessary hardships if the Zoning Ordinance is strictly applied; and
☒ Does not interfere substantially with the Comprehensive Plan adopted.
☒ Petitioner will comply with all ordinance parking requirements.

In Support of an application for **Special Exception**, the Petitioner states that the granting of such request:

- ___ Will not generate excessive vehicular traffic on minor residential streets;
 ___ Will not create vehicular parking or traffic problems;
 ___ Appropriate access roads, drives, utilities, drainage, facilities, and other necessary facilities have been or will be installed;
 ___ Will make a substantial contribution to the neighborhood environment and will not infringe on the rights of properties in the vicinity of the expected use;
 ___ Will comply with the requirements of the district in which proposed use is to be located.
 ___ Petitioner will comply with all ordinance parking requirements.

In support of such application for **Special Exception for Home Occupation**, Petitioner states:

- ___ That no person other than members of the family residing on the premises will be engaged in the home occupation.
 ___ That the use of the dwelling unit for home occupation will be clearly incidental and subordinate to its use for residential purposes and not more than 25% of the floor area of the dwelling will be used in the conduct of the home occupation.
 ___ That there will be no change in the outside appearance of the building or premises, or other visible evidence of the conduct of such home occupation, other than one sign-such sign not exceeding two square feet in area, non-illuminated and containing only the name and nature of the business.
 ___ That no home occupation will be conducted in any accessory building.
 ___ That there will be no sales area unless specifically permitted by the BZA.
 ___ That no traffic will be generated by such home occupation in greater volume than would normally be expected in a residential neighborhood and any need for parking generated by the conduct of such home occupation will be met by required or permitted parking spaces, and will not be in the front yard.
 ___ That no equipment or process will be used which creates noise, vibration, glare, fumes, odors, or electrical interference detectable to the normal senses which can be detected off premises.

PETITIONER:

Stark's, LLC *46 WILLIAM FERNBERG, ESQ*
570 VALE PARK ROAD, SUITE B
VALPARAISO, IN 46385

Name (Please Print)

Address

Phone

OWNER OF SUBJECT PROPERTY:

COURTNEY MORROW, LLC

SAME

Name (Please Print)

Address

Phone

ADDRESS OF SUBJECT PROPERTY:

175 LINCOLNWAY - NAPOLEON CENTER
 Subject property fronts on the *S* side between (streets) *LEFAYETTE & NAPOLEON*
 in the *CBD* Zoning District.

Legal Description of Subject Property: (Exhibit No. A)

SEE EXHIBIT "A"

DESCRIPTION OF PROPOSED PROJECT INCLUDING, NEW CONSTRUCTION,
ADDITION, ALTERATION, OR CHANGE OF USE: (Exhibit No. B)

① VARIANCE TO ALLOW ROOFTOP DINING

② VARIANCE TO ALLOW VERTICAL-TWO FACED SKIRGE

Section (3) of the Zoning Ordinance from which a Variance, Special Exception, or
Administrative Relief is sought:

Article: _____ Section: _____ Paragraph: _____ Item: _____
: _____ : _____ : _____ : _____
: _____ : _____ : _____ : _____

Attach a Site Plot Plan drawn to scale showing:

- a. scale
- b. lot: shape, location, dimension, and area
- c. existing improvements on the lot (including, structures, sidewalks, & driveways)
and the percent coverage of improvements on the lot
- d. distance for lot lines, right-of-way lines, or easements to any structure for: front,
back and side yards

Please fill in:

Front Setback 15/12 Rear Setback 10/12 Side Setbacks 10/12 / 15/12 Lot Coverage 15/12
Height 15/12

The powers and duties of the Board of Zoning Appeals are provided for and limited by Enabling Acts in Indiana Code 36-7-4-900 et. seq.. The public hearing procedures are similar to a courtroom hearing. Although it is not required that the Petitioner represented by legal counsel, information and documentation pertaining to the petitioner should be prepared as if it were to become part of a court hearing. **Although the office of the City Planner is available to assist the Petitioner, it is the Petitioner's responsibility to request and prepare the appropriate variance petition.** The Planning Department can be contacted Monday-Friday between 8:30 – 4:30 at (219) 462-1161.

Petitions will not be scheduled for public hearing unless all legal and procedural requirements have been met.

STAFF USE ONLY

Date Received _____

- _____ Names and Addresses of property owners within 300 feet provided
- _____ Signature notarized
- _____ Site Plan attached
- _____ Legal Description (Not Abbreviated) Provided
- _____ Petition Filed Complete
- _____ Written Description of Project
- _____ Petitioners Affidavit of Notice
- _____ Findings of Fact
- _____ Photo's of Property (Staff Request)
- _____ Landscape Plan (Staff Request)

Date approved for Public Hearing _____, _____

BZA Application Fees

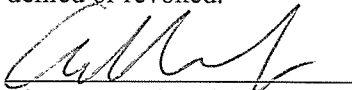
☒ Use Variance	\$200
_____ Single Family Development Standards Variance	\$50
☒ Commercial Development Standards Variance	\$150
_____ Special Exception/Special Use	\$200
_____ Relief to an Administrative Decision	\$200
_____ Special Meeting	\$1000
_____ Conditional Use	\$100
_____ Wireless Communications Facility Special Use – Major	\$500
_____ Wireless Communications Facility RF Tech Study Fee	\$ Actual cost of study

TOTAL FEE \$ 350⁰⁰

Certificate of Petitioner

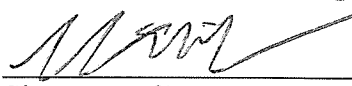
Please read and sign the following statement:

I, the Petitioner (and Property Owner, if separate), understand that I and/or my representative must be present at the public hearing. Should I fail to appear, the BZA, in my absence, may consider and take action on my Petition. If the Petitioner is not the owner of the property that is the basis of this Petition, the signature of the Property Owner(s) constitutes authorization for the Petitioner to speak and act on behalf of the Property Owner(s). The Petitioner certifies that neither the Petitioner nor any attachments or exhibits submitted contains any known intentional misrepresentations or intentionally misleading statements. All information submitted is accurate, true and correct to the best of the Petitioner's knowledge. The providing of false and/or inaccurate information on this Petition or during any proceedings before the BZA may result in the denial of the request or the revocation of the request, should a Petition be granted. Similarly, if as part of any granted Petition, the BZA places any restrictions and/or limitations, I acknowledge that my failure to comply with such restrictions/limitations shall be grounds to revoke any granted Petition. The Petitioner acknowledges that it bears the obligation to mail notice of any Public Hearing to all property owners within 300 feet of the property that is the subject of this Petition. Any errors by the Petitioner may result in the Petition being delayed, denied or revoked.


Signature of Petitioner

Stack's LLC

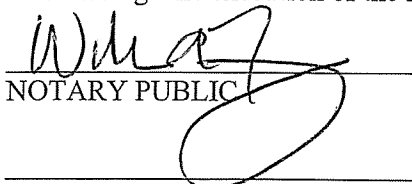
By: ART G. GEORGIN, JR., MGR
Printed Name


Signature of Property Owner

MGR OF COURTNEY MARGAN, LLC

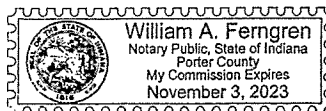
Signature of Property Owner

Subscribed and sworn to before me, a Notary in and for said County and State, personally appeared: ART GEORGIN & CHARLES WILLIAMS, and acknowledge the execution of the foregoing document, this 21ST day of NOV, 2018.


NOTARY PUBLIC

My Commission Expires: _____
Resident of _____ County

Type or Print name of Notary



Affidavit of Consent of Property Owner

(To be presented with application for Board of Zoning Appeals)

CHARLES WILLIAMS, being dully sworn upon his/her oath, being of sound mind and legal age deposes and states:

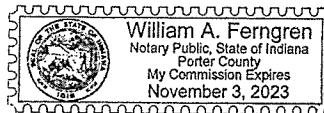
1. That COURTNEY MORGAN, LLC ("Owner") (is/~~are~~) the legal owner(s) of real property that is the subject of a Petition before the BZA.
2. That Owner authorizes STACKS LLC ("Petitioner") to seek the relief sought in the Petition filed before the BZA. Petitioner is further authorized to commit to any reasonable restriction requested by the BZA or proposed by the Petitioner.

[Signature] 11/21/18
Property Owner Date
MEM OF COURTNEY MORGAN, LLC

Property Owner Date

Subscribed and sworn to before me this 21 day of NOVEMBER, 2018.

[Signature]
Notary Public



My Commission: _____

Date

Exhibit "A"

Variance Petition

175 Lincolnway - Napoleon Center

Lot 3 and Lot 4 in Block 25, in the Original Survey of the Town, now City of Valparaiso, as per plat thereof recorded in Deed Record "A", page 13 in the Office of the Recorder of Porter County, Indiana, and also including the entire vacated alley, adjoining said Lot 3 to the east, commonly known as the Napoleon Center at 175 West Lincolnway, located in Valparaiso, Indiana

Exhibit B

Variance Petition

175 Lincolnway - Napoleon Center

Description of Project

Proposed rooftop dining area for Stack's restaurant. An upper floor restaurant and rooftop dining. 1,200 square feet of enclosed area of which approximately one-half of this area will be kitchen, restrooms and stairway. The remaining 600 square feet will be seating and service areas. An area adjacent to the enclosed area will be open to the rooftop and will be used for seasonal rooftop dining. A vertical sign on the building is also part of the variance request.

Owner Notice List

Valparaiso BZA

175 Lincolnway - Napoleon Center

Owner

DAM Fine Properties LLC

Buck Stephen R Revocable Trust

Worstell Diane M Living Trust & 72-

Flum Rosemarie C Trust

Addison Investments LLC

Commissioners Porter County

First Partners

Valparaiso Partners LLC

Seven Napoleon Partnership

GG & C Properties LLC

Magiera Michael A & Albers Kristine/

Vass Development Corporation

Bpo Elks 500 Valparaiso Lodge

Youth Service Bureau Of Porter Coun

Trust No 120159

Youth Service Bureau of Porter Coun

68 Lincolnway LLC

Smith Ready Mix Inc

Bodensteiner Ivan E & Patricia A/H&

Greater Valparaiso Chamber Of Comme

YOUR Insurance Inc

Zlaich John & Olivia/H&W & Michelle

Owner Address

161 Lincolnway Valparaiso IN 46383

285 Durness Ct Valparaiso IN 46385

402 Burlington Beach Rd Valparaiso IN 46383

11603 Georgetowne Ct Potomac MD 20854

151 Lincolnway Valparaiso IN 46383

155 Indiana Ave Rm 205 Valparaiso IN 46383

PO Box 1352 Valparaiso IN 46384

259 Indiana Ave Valparaiso IN 46383

7 Napoleon St Valparaiso IN 46383

1351 Silhavy Rd Ste 100 Valparaiso IN 46383

3612 Meadowlake Dr Valparaiso IN 46383

PO Box 345 Valparaiso IN 46384

PO Box 151 Valparaiso IN 46384

253 Lincolnway Valparaiso IN 46383

Dan Marchetti CFO Urschel Labs 1200 Cutting Edge Dr Chesterton IN 46304

253 Lincolnway Valparaiso IN 46383

1351 Silhavy Ste 100 Valparaiso IN 46383

251 Lincolnway Valparaiso IN 46383

5 Napoleon St Valparaiso IN 46383

162 Lincolnway Valparaiso IN 46383

251 Indiana Ave Valparaiso IN 46383

70 Lincolnway Valparaiso IN 46383

FILED

JAN 17 2019

R# 46865
CL# 5880
R

Sharon Emerson Schubert

Clerk-Treasurer

Petition #: VAK19-001

**PETITION TO
VALPARAISO BOARD OF ZONING APPEALS**

The Petition shall be filed in duplicate with the City Clerk-Treasurer a minimum of 25 days prior to the date of the next Board of Zoning Appeals ("BZA") meeting. The BZA meets every third Tuesday of the month at 7:00 PM in City Hall, 166 Lincolnway, Valparaiso. The Petitioner and/or his/her representative must be present at the public hearing. The filing fee must be paid to the City Clerk-Treasurer upon filing a complete Petition. Please submit nine (9) copies of this petition.

PLEASE COMPLETE THE FOLLOWING:

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- ☒ 2. Variance(s) from the development standards.
- ☐ 3. Variance of the use from the terms of the Zoning Ordinances.
- ☐ 4. Petition for Special Exception.
- ☐ 5. Special Exception from Home Occupation.
- ☐ 6. Conditional Use.

In support of an application for **Variance(s) from the Development Standards**, the Petitioner states that the granting of such request:

- ☐ Will not be injurious to the health, safety, morals, and general welfare of the community;
- ☐ Will not affect the use and value of the area adjacent to the property included in the variance in a substantially adverse manner; and arise from practical difficulties in the use of the property in conformity with the Zoning Ordinance.
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- ☐ Arise from a condition peculiar to the property;

___ Arises from unnecessary hardships if the Zoning Ordinance is strictly applied; and
___ Does not interfere substantially with the Comprehensive Plan adopted.
___ Petitioner will comply with all ordinance parking requirements.
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___ Will not generate excessive vehicular traffic on minor residential streets;
___ Will not create vehicular parking or traffic problems;
___ Appropriate access roads, drives, utilities, drainage, facilities, and other necessary facilities have been or will be installed;
___ Will make a substantial contribution to the neighborhood environment and will not infringe on the rights of properties in the vicinity of the expected use;
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___ That no person other than members of the family residing on the premises will be engaged in the home occupation.
___ That the use of the dwelling unit for home occupation will be clearly incidental and subordinate to its use for residential purposes and not more than 25% of the floor area of the dwelling will be used in the conduct of the home occupation.
___ That there will be no change in the outside appearance of the building or premises, or other visible evidence of the conduct of such home occupation, other than one sign-such sign not exceeding two square feet in area, non-illuminated and containing only the name and nature of the business.
___ That no home occupation will be conducted in any accessory building.
___ That there will be no sales area unless specifically permitted by the BZA.
___ That no traffic will be generated by such home occupation in greater volume than would normally be expected in a residential neighborhood and any need for parking generated by the conduct of such home occupation will be met by required or permitted parking spaces, and will not be in the front yard.
___ That no equipment or process will be used which creates noise, vibration, glare, fumes, odors, or electrical interference detectable to the normal senses which can be detected off premises.

PETITIONER:

Carolina Creek Development, LLC	2201 N. Willenborg St., Suite 2, Effingham, IL 62401	(217) 342-4443
Name (Please Print)	Address	Phone

OWNER OF SUBJECT PROPERTY:

Carolina Creek Development, LLC	2201 N. Willenborg St., Suite 2, Effingham, IL 62401	(217) 342-4443
Name (Please Print)	Address	Phone

ADDRESS OF SUBJECT PROPERTY: 2700 Evans Avenue

Subject property fronts on the south side between (streets) Silhavy Rd. & Sturdy Rd.
in the INL Zoning District.

Legal Description of Subject Property: (Exhibit No.____)

See Attached

DESCRIPTION OF PROPOSED PROJECT INCLUDING, NEW CONSTRUCTION, ADDITION, ALTERATION, OR CHANGE OF USE: (Exhibit No.____)

85,356 sft warehouse & production floor addition to an existing light industrial facility. Existing facility is 124,746 sft.

Section (3) of the Zoning Ordinance from which a Variance, Special Exception, or Administrative Relief is sought:

Article: 11 Section: 502 Paragraph: A Item: _____
: 11 : 507 : E : 1
: 11 : 508 : C : _____

Attach a Site Plot Plan drawn to scale showing:

- a. scale
- b. lot: shape, location, dimension, and area
- c. existing improvements on the lot (including, structures, sidewalks, & driveways) and the percent coverage of improvements on the lot
- d. distance for lot lines, right-of-way lines, or easements to any structure for: front, back and side yards

Please fill in:

Front Setback 60' Rear Setback 30' Side Setbacks 15'/ 30' Lot Coverage 65% max.
Height 3 stories / 40' maximum

The powers and duties of the Board of Zoning Appeals are provided for and limited by Enabling Acts in Indiana Code 36-7-4-900 et. eq.. The public hearing procedures are similar to a courtroom hearing. Although it is not required that the Petitioner represented by legal counsel, information and documentation pertaining to the petitioner should be prepared as if it were to become part of a court hearing. **Although the office of the City Planner is available to assist the Petitioner, it is the Petitioner's responsibility to request and prepare the appropriate variance petition.** The Planning Department can be contacted Monday-Friday between 8:30 – 4:30 at (219) 462-1161.

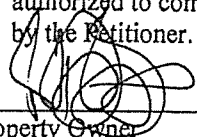
Petitions will not be scheduled for public hearing unless all legal and procedural requirements have been met.

Affidavit of Consent of Property Owner

(To be presented with application for Board of Zoning Appeals)

R. Dean Bingham, being dully sworn upon his/her oath, being of sound mind and legal age deposes and states:

1. That Carolina Creek Development, LLC ("Owner") (is/are) the legal owner(s) of real property that is the subject of a Petition before the BZA.
2. That Owner authorizes Daniel J. Haarmann ("Petitioner") to seek the relief sought in the Petition filed before the BZA. Petitioner is further authorized to commit to any reasonable restriction requested by the BZA or proposed by the Petitioner.



Property Owner

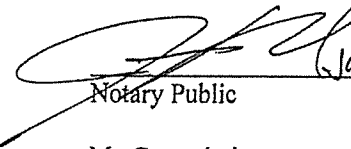
1/15/19

Date

Property Owner

Date

Subscribed and sworn to before me this 15th day of January, 20 19.

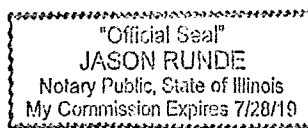


Notary Public

My Commission:

7/28/19

Date



**NOTICE OF PUBLIC HEARING
CITY OF VALPARAISO BOARD OF ZONING APPEALS**

Dear Property Owner:

This letter is to notify that the City of Valparaiso Board of Zoning Appeals will conduct a public hearing on Petition Number _____ on the 19th day of February, 20 19 at 7:00 p.m. at Valparaiso City Hall, 166 Lincolnway, City Council Chambers, to consider a request for Board of Zoning Appeals action (insert action here) _____.

The petitioner for the requested action is Carolina Creek Development, LLC. of the (address here) 2700 E. Evans Ave., Valparaiso, IN 46383. The property is located in the INL - Light Industry Zoning District. The subject parcel is located at (Address or Location) 2700 E. Evans Ave., Valparaiso, IN 46383 and includes the following tract of land:

Legal Description

(Please type the street address and legal description here or attaché to the letter)

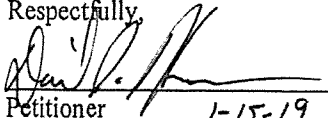
SEE ATTACHED

You are sent this notice as a property owner within 300 feet of the parcel. Your view on this petition may be submitted in writing to the Planning Director, or you will be given an opportunity to be heard at the above-mentioned time of the Public Hearing. All interested parties are invited to attend. To review the petition and detailed site plans, please contact the Planning Department between 8:30 a.m. and 4:30 p.m. Monday through Friday.

Correspondence to:

Tyler Kent, Planning Director
City of Valparaiso
166 Lincolnway
Valparaiso, IN 46383
Phone: (219) 462-1161 Fax: (219) 464-4273
Email: tkent@valpo.us
(all electronic mail must include name, address, and telephone number)

Respectfully,



Petitioner 1-15-19

Petitioner

Daniel J. Haarmann _____

Petitioner

Petitioner

Affidavit of Proper Public Notice for Public Hearing

(To be presented to Board of Zoning Appeals staff or attorney at Public Hearing)

Daniel J. Hoermann, being dully sworn upon his/her oath, being of sound mind and legal age deposes and states:

1. That he/she is the _____ (agent, attorney, owner) of the property described in the attached notice which an application for a variance has been filed before the Board of Zoning Appeals of the City of Valparaiso, Indiana
2. That on the ____ day of _____, _____, did mail at least ten 10 (10) days prior to the scheduled Public Hearing postage paid, by certified mail, return receipt requested, a letter explaining the proposed change, time, date and place of hearing and attached hereto, to all of the property owners within three hundred (300) feet from the lot lines of described real estate, as follows.

(Please attach legal description)

List the name the address of all property owners who have received notification on page 10.

Petitioner

Date

Subscribed and sworn to before me this _____ day of _____, _____.

Notary Public

My Commission Expires

Date

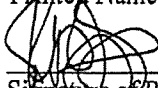
Certificate of Petitioner

Please read and sign the following statement:

I, the Petitioner (and Property Owner, if separate), understand that I and/or my representative must be present at the public hearing. Should I fail to appear, the BZA, in my absence, may consider and take action on my Petition. If the Petitioner is not the owner of the property that is the basis of this Petition, the signature of the Property Owner(s) constitutes authorization for the Petitioner to speak and act on behalf of the Property Owner(s). The Petitioner certifies that neither the Petitioner nor any attachments or exhibits submitted contains any known intentional misrepresentations or intentionally misleading statements. All information submitted is accurate, true and correct to the best of the Petitioner's knowledge. The providing of false and/or inaccurate information on this Petition or during any proceedings before the BZA may result in the denial of the request or the revocation of the request, should a Petition be granted. Similarly, if as part of any granted Petition, the BZA places any restrictions and/or limitations, I acknowledge that my failure to comply with such restrictions/limitations shall be grounds to revoke any granted Petition. The Petitioner acknowledges that it bears the obligation to mail notice of any Public Hearing to all property owners within 300 feet of the property that is the subject of this Petition. Any errors by the Petitioner may result in the Petition being delayed, denied or revoked.

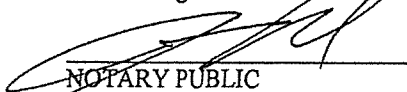

Signature of Petitioner

Daniel J. Haarmann
Printed Name


Signature of Property Owner

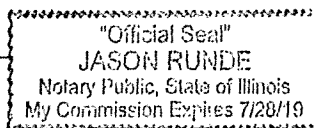
Signature of Property Owner

Subscribed and sworn to before me, a Notary in and for said County and State, personally appeared: R. Dean Bingham, and acknowledge the execution of the foregoing document, this 15th day of January, 2019.


NOTARY PUBLIC

My Commission Expires: 7/28/19
Resident of Effingham County

Jason Runde
Type or Print name of Notary



STAFF USE ONLY

Date Received _____

- ____ Names and Addresses of property owners within 300 feet provided
- ____ Signature notarized
- ____ Site Plan attached
- ____ Legal Description (Not Abbreviated) Provided
- ____ Petition Filed Complete
- ____ Written Description of Project
- ____ Petitioners Affidavit of Notice
- ____ Findings of Fact
- ____ Photo's of Property (Staff Request)
- ____ Landscape Plan (Staff Request)

Date approved for Public Hearing _____, _____

BZA Application Fees

____	Use Variance	\$200
____	Single Family Development Standards Variance	\$50
<u>X</u>	Commercial Development Standards Variance	\$150
____	Special Exception/Special Use	\$200
____	Relief to an Administrative Decision	\$200
____	Special Meeting	\$1000
____	Conditional Use	\$100
____	Wireless Communications Facility Special Use – Major	\$500
____	Wireless Communications Facility RF Tech Study Fee	\$ Actual cost of study

TOTAL FEE \$150

SURROUNDING PROPERTY OWNER LIST

List the name and address of all property owners who have received notification below
(Use Additional Sheets if Necessary):

(Please Print)

Name

Address

See Attached List

This image shows a full page of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page, typical of notebook paper. There are no margins, text, or other markings on the page.

Parcel Number	Owner	Owner Address
64-10-19-226-004.000-004	Carolina Creek Development LLC 529 Thomas Dr Bensenville IL 60106-1650 Carolina Creek Development LLC 529 Thomas Dr	529 Thomas Dr Bensenville IL 60106
64-10-19-226-006.000-004	Bensenville IL 60106-1650 McGill Manufacturing Co Inc 909 LaFayette St	529 Thomas Dr Bensenville IL 60106
64-10-19-226-001.000-004	Valparaiso IN 46383-4210 Paul Wurth Inc 135 Technology Dr Ste 500 Bailey Center II	909 LaFayette St Valparaiso IN 46383
64-10-20-101-007.000-029	Canonsburg PA 15317-9519 Opportunity Enterprises Inc 2801 Evans Ave	135 Technology Dr Ste 500 Bailey Center II Canonsburg PA 15317
64-10-17-352-021.000-029	Valparaiso IN 46383-6940 Magana Andres R & Dawn N/H&W 2706 Baldwin Ct	2801 Evans Ave Valparaiso IN 46383
64-10-18-482-011.000-004	Valparaiso IN 46383-4477 Trust 7 Rev Trust 1105 Silhavy Rd	2706 Baldwin Ct Valparaiso IN 46383
64-10-18-482-012.000-004	Valparaiso IN 46383-4455 Alvarez Spring Star 2709 Evans Ave	1105 Silhavy Rd Valparaiso IN 46383
64-10-18-482-015.000-004	Valparaiso IN 46383-4439 Asbell Raymond Scott & Kelly Jean/H 2702 Baldwin Ct	2709 Evans Ave Valparaiso IN 46383
64-10-18-482-009.000-004	Valparaiso IN 46383-4477 Nelson Diane Kay 2707 Evans Ave	2702 Baldwin Ct Valparaiso IN 46383
64-10-18-482-013.000-004	Valparaiso IN 46383-4439 Vlasic David J 2605 Kieffer Ct	2707 Evans Ave Valparaiso IN 46383
64-10-18-481-035.000-004	Valparaiso IN 46383-4474 Davis Chrysanthemum M L 2607 Kieffer Ct	2605 Kieffer Ct Valparaiso IN 46383
64-10-18-482-008.000-004	Valparaiso IN 46383-4474 Hightshoe Ryan J & Elizabeth A/H&W 2608 Kieffer Ct	2607 Kieffer Ct Valparaiso IN 46383
64-10-18-482-007.000-004	Valparaiso IN 46383-4474 Horan Ronald & Cheryl/H&W 2606 Kieffer Ct	2608 Kieffer Ct Valparaiso IN 46383
64-10-18-482-006.000-004	Valparaiso IN 46383-4474 Dubrick Kalen M & Amber M/H&W 2604 Kieffer Ct	2606 Kieffer Ct Valparaiso IN 46383
64-10-18-482-005.000-004	Valparaiso IN 46383-4474 Beach Gregory & Laura/H&W 2602 Kieffer Ct	2604 Kieffer Ct Valparaiso IN 46383
64-10-18-482-004.000-004	Valparaiso IN 46383-4474 Murphy Eric J 2508 Kieffer Ct	2602 Kieffer Ct Valparaiso IN 46383
64-10-18-482-003.000-004	Valparaiso IN 46383-4472 Malasto Charles S & Patricia/H&W 2506 Kieffer Ct	2508 Kieffer Ct Valparaiso IN 46383
64-10-18-482-002.000-004	Valparaiso IN 46383-4472 Chace Robert M & Donna D/H&W 2504 Kieffer Ct	2506 Kieffer Ct Valparaiso IN 46383
64-10-18-482-001.000-004	Valparaiso IN 46383-4472 Haller Carol E 2603 Kieffer Ct	2504 Kieffer Ct Valparaiso IN 46383
64-10-18-481-034.000-004	Valparaiso IN 46383 Aaredema Steven J & Shannon M/HW 2601 Kieffer Ct	2603 Kieffer Ct Valparaiso IN 46383
64-10-18-481-033.000-004	Valparaiso IN 46383-4474	2601 Kieffer Ct Valparaiso IN 46383

	Nunley Eric L & Ramonaj/H&W 2507 Kieffer Ct Valparaiso IN 46383-4473	2507 Kieffer Ct Valparaiso IN 46383
64-10-18-481-032.000-004	Ringer Richard A Jr & Mary Kae/H&W 2505 Kieffer Ct Valparaiso IN 46383-4473	2505 Kieffer Ct Valparaiso IN 46383
64-10-18-481-031.000-004	Flasch Dawn J 1202 Bartlett Dr Valparaiso IN 46383-4481	1202 Bartlett Dr Valparaiso IN 46383
64-10-18-481-028.000-004	Lill Stephen E 2503 Kieffer Ct Valparaiso IN 46383-4473	2503 Kieffer Ct Valparaiso IN 46383
64-10-18-481-029.000-004	Church First United Methodist Valpa 103 Franklin St Valparaiso IN 46383-4861	103 Franklin St Valparaiso IN 46383
64-10-18-480-008.000-004	Gardner Henry E & Jaynel/H&W 1103 Bartlett Dr Valparaiso IN 46383-4480	1103 Bartlett Dr Valparaiso IN 46383
64-10-18-480-009.000-004	Dan Matthew U & Poncek Dan Kara/H&W 1101 Bartlett Dr Valparaiso IN 46383-4480	1101 Bartlett Dr Valparaiso IN 46383
64-10-18-480-010.000-004	Terry Kenneth W & Diane E/H&W 1106 Cortland Dr Valparaiso IN 46383-4467	1106 Cortland Dr Valparaiso IN 46383
64-10-18-480-003.000-004	Kabelis Robert A & Joann M/H&W 1104 Cortland Dr Valparaiso IN 46383-4467	1104 Cortland Dr Valparaiso IN 46383
64-10-18-480-004.000-004	Kerns Robert P & Marie/H&W 1105 Cortland Dr Valparaiso IN 46383-4469	1105 Cortland Dr Valparaiso IN 46383
64-10-18-476-014.000-004	Frazer Eric J & Christine C/H&W 1103 Cortland Dr Valparaiso IN 46383-4469	1103 Cortland Dr Valparaiso IN 46383
64-10-18-476-015.000-004	Dillman Brian J & Diane J H&W 1101 Cortland Dr Valparaiso IN 46383-4469	1101 Cortland Dr Valparaiso IN 46383
64-10-18-476-016.000-004	Kowalisyn Joseph M 1102 Cortland Dr Valparaiso IN 46383-4467	1102 Cortland Dr Valparaiso IN 46383
64-10-18-480-005.000-004	AM Stabilizers Corporation 705 Silhavy Rd Valparaiso IN 46383-4463	705 Silhavy Rd Valparaiso IN 46383
64-10-19-228-002.000-004	Appletree Ventures 2850 Barley Rd Valparaiso IN 46383-8024	2850 Barley Rd Valparaiso IN 46383
64-10-19-228-001.000-004	Gtwarehouse Llc %Richden Company 1410 W Irving Park Rd Chicago IL 60613-1153	1410 W Irving Park Rd Chicago IL 60613
64-10-20-102-023.000-029	Value Flooring Inc 708 Silhavy Rd Valparaiso IN 46383-4464	708 Silhavy Rd Valparaiso IN 46383
64-10-20-102-004.000-029	Ocean Life Investments LLC 3 Sheffield Dr Valparaiso IN 46383-3049	3 Sheffield Dr Valparaiso IN 46383
64-10-20-102-017.000-029		

Variance from Development Standards
Findings of Fact
(Please Print)

Petitioner submits that:

A. The proposed variance from the Development Standards will not be injurious to the public health, safety, morals, and general welfare of the community because: _____

_____The heavy existing vegetation along Silhavy Road will be maintained and the building is not visible from Silhavy Road. Truck traffic in and out of the site will continue as presently routed._____

B. The use and value of the area adjacent to the property included in the proposed variance will not be affected in a substantially adverse manner because: _____

_____The building is not visible from Silhavy Road and the new addition is set back significantly from Evans Ave. New parking at the north end of the site will be properly screened per signature corridor requirements._____

C. The strict application of the terms of the zoning ordinance will result in particular difficulties in the use of the property included in the proposed variance because: _____

_____The cost of the exterior materials and building off-sets make the project cost prohibitive for an industrial building and would result in a reduction in the facility's expansion and a reduction in the number of new jobs produced._____

The Petitioner carries the burden of proving to the Board of Zoning Appeals the existence of each and every one of the elements listed above.

LAKE CABLE WAREHOUSE EXPANSION - 2018

2700 EVANS AVENUE,
VALPARAISO, IN, 46383

ISSUED FOR: SD APPROVAL 12/08/18

DRAWING INDEX:

A0.0 COVER SHEET

STRUCTURAL DRAWINGS:
S1.1 FOUNDATION PLAN

ARCHITECTURAL DRAWINGS:
A0.1 FIRST FLOOR LIFE SAFETY PLAN
AD1.1 FIRST FLOOR DEMOLITION PLAN
A1.1 PARTIAL FIRST FLOOR PLAN - NORTH
A1.2 PARTIAL FIRST FLOOR PLAN - NORTH
A3.1 ROOF PLAN
A4.1 EXTERIOR ELEVATIONS
A5.1 TYPICAL BUILDING SECTIONS
A8.1 ENLARGED FLOOR PLANS

MECHANICAL DRAWINGS:
M000 HVAC NOTES & SPECIFICATIONS
M100 PARTIAL HVAC PLAN
M200 ENLARGED HVAC PLANS
M400 HVAC SCHEDULES & DETAILS

PLUMBING & FIRE PROTECTION DRAWINGS:
P000 PLUMBING NOTES & SPECIFICATIONS
P100 PLUMBING PLAN
P200 ENLARGED PLUMBING PLANS
P400 PLUMBING SCHEDULES & DETAILS

ELECTRICAL DRAWINGS:
E1.1 OFFICE POWER & EXPANSION RISER DIAGRAM
E1.2 PLANT EXPANSION POWER PLAN
E1.3 WAREHOUSE EXPANSION POWER PLAN
E2.1 OFFICE EXPANSION LIGHTING PLAN
E2.2 PLANT EXPANSION LIGHTING PLAN
E2.3 WAREHOUSE EXPANSION LIGHTING PLAN

DEFINITIONS

A.B	ANCHOR BOLT	FEC	FIRE EXTINGUISHER CABINET	PLAM	PLASTIC LAMINATE
ABV	ABOVE	FHC	FIRE HOSE CABINET	PLYWD	PLYWOOD
A.F.F	ABOVE FINISHED FLOOR	FDI	FLOOR DRAIN	P.O.R.	PROFESSIONAL OF RECORD
A.C.	AIR CONDITIONING	FIN	FIRSHED	PROJ	PROJECT
ADA	AMERICANS W/ DISABILITIES ACT	FL	FLOORING	PSF	POUNDS PER SQUARE FOOT
ADJ	ADJUSTABLE	FLOR	FLOORING	PSI	POUNDS PER SQUARE INCH
ALUM	ALUMINUM	F.F.T.	FIRE RETARDANT TREATED	PT.	PRESSURE TREATED
A.M.B	AIR & MOISTURE BARRIER	FT (F)	FEET, FOOT	(R)	REDLOCATED
A.O.R	ARCHITECT OF RECORD	FUR	FURRED(ING)	RAD	RADIUS
ARCH	ARCHITECTURAL	GL	GLASS	REFR	REFRIGERATOR
@	AT	GYP	GYP SUM	REM	REMOVED(ABLE)
BD	BOARD	HDW	HARDWARE	REQD	REQUIRED
BLK	BLOCK(ING)	HDWD	HARDWOOD	RESIL	RESILIENT
BM	BEAM	HORIZ	HORIZONTAL	REV	REVISION(S), REVISED
BOT	BOTTOM	HVAC	HEATING/VENTILATION AIR	RM	ROOM
B.O.G	BOTTOM OF BUILDING		CONDITIONING	R.O.	ROUGH OPENING
BUDS				RND	ROUND
C	CENTERLINE	ID.	INSIDE DIMENSION / DIAMETER	SCH	SCHEDULE
CLG	CEILING	IN (")	INCH	SECT	SECTION
CIRC	CIRCUIT	INSUL	INSULATION	S.F.	SQUARE FOOTAGE
C.F.C.I.	CONTRACTOR FURNISHED & INSTALLED	INT	INTERIOR	SHT	SHEET
C.J.	CONTROL JOINT	LAM	LAMINATE	SHTHG	SHEATHING
CLR	CLEAR	LS	POUNDS	SC	SOLID CORE
C.O.	CLEANOUT	MAX	MAXIMUM	S.D SUR	SOLID SURFACE
COL	COLUMN	MFG	MANUFACTURE(R)	SP	SPACE(S)
CONC	CONCRETE	MECH	MECHANICAL	SPEC	SPECIFICATION
CONST	CONSTRUCTION	MIN	MINIMUM	S.S.	STAINLESS STEEL
CONT	CONTINUOUS (OR) CONTINUE	MISC	MISCELLANEOUS	STL	STEEL
C/T	CURRENT TRANSFORMER	M.P.	MOISTURE RESISTANT/PROOF	STO	STORAGE
CTR	COUNTER	MTL	METAL	STRUCT	STRUCTURAL
(D)	DEMO/DEMOLISHED	M.V.	MILLWORK VENDOR	SUSP	SUSPENDED
DIA	DIAMETER	N.C.	NOT IN CONTRACT	TEL	TELEPHONE
DIM	DIMENSION	NO.	NUMBER	TEMP	TEMPERED
DI	DOWNSPOUT	NOM	NOMINAL	T.O.P	TOP OF
DTL	DETAIL	NTS	NOT TO SCALE	T.O.S.	TOP OF STEEL
DWR	DRAWER			TVR	TYPICAL
DWG	DRAWING	O.C.	ON CENTER(S)	UNO.	UNLESS NOTED OTHERWISE
(E)	EXISTING	O.D.	OUTSIDE DIMENSION	UPR	UNDER SIDE
EA	EACH	O.F.C.I.	OWNER FURNISHED & INSTALLED	V.B.	VAPOR BARRIER
ELEV	ELEVATION	O.P.N.G	OPENING	V.F.	VERIFY IN FIELD
EMER	EMERGENCY	OPH	OPPOSITE HAND	V.VT	VINYL COMPOSITION TILE
EQ	EQUAL	OPP	OPPOSITE	VERT	VERTICAL
EQPT	EQUIPMENT	PNT'D	PAINTED	W/	WITH
EXP	EXPOSED	PL	PLATE	W/O	WITHOUT
EXT	EXTERIOR			WD	WOOD
				WDB	WOOD BASE
F.P.	FIRE EXTINGUISHER				

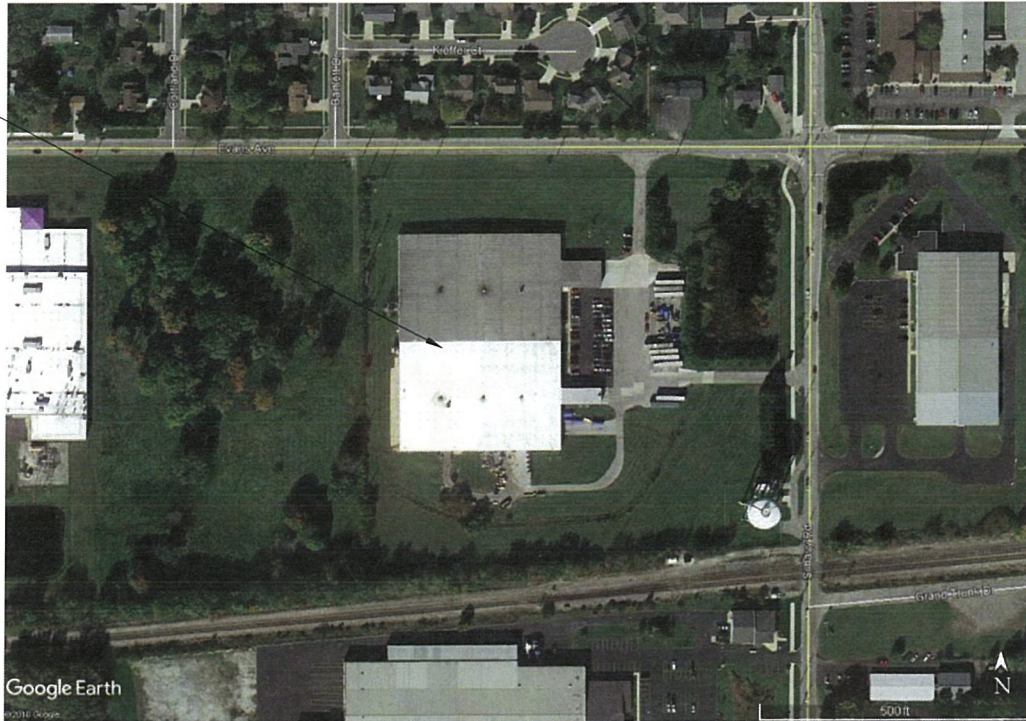
GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- SITE & OTHER DEMOLITION SHALL BE CLEAN AND COMPLETE. PATCH OR REPAIR ALL EXISTING CONSTRUCTION TO REMAIN AS REQUIRED TO MATCH SURROUNDING SIMILAR CONSTRUCTION.
- CONTRACTOR TO PROVIDE ALL TEMPORARY SHORING, BRACING, BARRIERS, PARTITIONS, FENCING, SILT CONTROL MEASURES OR OTHER TEMPORARY FACILITIES AS REQUIRED.
- MAINTAIN EXISTING CONSTRUCTION OR UTILITIES TO REMAIN IN A SAFE AND WEATHER-TIGHT CONDITION THROUGHOUT CONSTRUCTION.
- DO NOT SCALE DRAWINGS. ALL DIMENSIONS NOTED ARE TO BE VERIFIED IN THE FIELD. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR IS RESPONSIBLE FOR SECURING ALL REQUIRED BUILDING PERMITS AND ANY OTHER REQUIRED APPROVALS.
- ALL CONSTRUCTION AND INSTALLATION SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS.

I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED BY ME AND UNDER MY DIRECT SUPERVISION AND ARE TO THE BEST OF MY KNOWLEDGE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE INDIANA DEPARTMENT OF FIRE PREVENTION AND BUILDING SAFETY

David R. Hill
DAVID R. HILL, INDIANA LICENSE #A10600080

PROJECT LOCATION



1 SITE LOCATION MAP

Scale: NTS

STRUCTURAL DESIGN CRITERIA:

- FLOOR LIVE LOADS:
 - WAREHOUSE 250 PSF
 - CORRIDORS, FIRST FLOOR: 100PSF
 - STAIRS & EXITS, NON-RESIDENTIAL: 100 PSF
 - WALKWAYS & ELEVATED PLATFORMS: 60 PSF
- ROOF LIVE LOAD:
- SNOW LOAD DATA:
 - GROUND SNOW LOAD (P_g): 30 PSF
 - FLAT ROOF SNOW LOAD (P_f):
 - SNOW EXPOSURE FACTOR (C_e):
 - SNOW LOAD IMPORTANCE FACTOR (I_s):
 - THERMAL FACTOR (C_t): 1.0
- WIND DESIGN DATA:
 - ULTIMATE WIND DESIGN SPEED (V_{ult}): 120 MPH
 - NOMINAL DESIGN WIND SPEED (V_{ref}): 93 MPH
 - RISK CATEGORY: II
 - SURFACE ROUGHNESS CATEGORY:
 - EXPOSURE CATEGORY:
 - INTERNAL NET PRESSURE COEFFICIENTS (C_{pi}):
 - WINDWARD WALL, ENCLOSED, +/-: +0.43/-0.73
 - LEEWARD WALL ENCLOSED, +/-: -0.51/-0.21
 - SIDEWALL, ENCLOSED, +/-: -0.66/-0.35
 - DESIGN WIND PRESSURE:
 - EXTERIOR COMPONENTS: 47.1
 - EXTERIOR CLADDING: 47.2
 - SEISMIC DESIGN DATA:
 - RISK CATEGORY: II
 - IMPORTANCE FACTOR (I_w):
 - MAPPED SPECTRAL RESPONSE ACCELERATION (S_s):
 - MAPPED SPECTRAL RESPONSE ACCELERATION (S_1):
 - SITE CLASS:
 - DESIGN SPECTRAL RESPONSE ACCELERATION (S_{ds}):
 - DESIGN SPECTRAL RESPONSE ACCELERATION (S_{d1}):
 - SEISMIC DESIGN CATEGORY:
 - BASIC SEISMIC FORCE-RESISTING SYSTEM:
 - DESIGN BASE SHEAR:
 - SEISMIC RESPONSE COEFFICIENT (C_s):
 - RESPONSE MODIFICATION COEFFICIENT (R):
 - ANALYSIS PROCEDURE USED:
 - GEOTECHNICAL DATA:
 - DESIGN SOIL BEARING PRESSURE
 - OTHER:

ENERGY CODE MATRIX:

	NON-RESIDENTIAL: REQUIRED	REFERENCE:	ACTUAL:	REFERENCE:
ROOF ASSEMBLY: (METAL BUILDING)	U-0.065 / R-19.0	TABLE 5.5-5	U-0.026 / R-38.9 MIN	
WALLS, ABOVE GRADE: (METAL BUILDING)	U-0.113 / R-13.0	TABLE 5.5-5	U-0.049 / R-20.41 MIN	
SLAB ON GRADE FLOORS: (HEATED)	U-0.86 / R-15 for 24"	TABLE 5.5-5	R-15.0 MIN for 24"	
OPAQUE DOORS: (SWINGING, NON-STOREFRONT)	U-0.70	TABLE 5.5-5	U-0.091 / R-11.0	MANUF. RATING, SEE NOTE #1
OPAQUE DOORS: (NON-SWINGING, SECTIONAL O.H.D.)	U-0.50	TABLE 5.5-5	U-0.061 / R-16.4	MANUF. RATING, SEE NOTE #2
FENESTRATION: (CURTAIN WALL / STOREFRONT)	U-0.45 / SHGC-0.40	TABLE 5.5-5	U-0.36 / SHGC-0.20	MANUF. RATING, SEE NOTE #3
(METAL FRAMING ALL OTHERS)	U-0.55 / SHGC-0.40	TABLE 5.5-5	U-0.29 / SHGC-0.26	MANUF. RATING, SEE NOTE #4
NOTES: 1. CECQ POLYURETHANE INSULATED GALVANIZED STEEL DOOR & FRAME WITH R-VALUE OF 11.0 & U-VALUE OF 0.091 2. VALUE BASED ON RAYNOR THERMA-SEAL MODEL TM 175 INSULATED SECTIONAL OVERHEAD DOOR WITH R VALUE OF 16.4 3. TOTAL ASSEMBLY VALUES BASED ON VIRACON 1" INSULATED GLASS UNITS (VU1-40) WITH A VLT OF 40%, WINTER U-VALUE OF 0.24 & SHGC OF 0.21 4. VALUE BASED ON KALWALL TRANSLUCENT PANEL SYSTEM MANUFACTURER'S PUBLISHED RATING WITH A VLT OF 26%, U-VALUE OF 0.29 & SHGC OF 0.26				

BUILDING CODE MATRIX:

	REQUIRED:	ACTUAL:	SECTION:	NOTES:
OCCUPANCY		MIXED USE: STORAGE S-1 FACTORY - F-2	311.2 306.3	
CONSTRUCTION TYPE		TYPE II-B FULLY SPRINKLERED	601 / 602.2	
SPRINKLED		UNLIMITED	507.3	
AREA LIMIT		209,852 SFT	503.1	NOTE 1
HEIGHT LIMIT		4 STORIES / 75' 1 STORY / 29'-0"		
FIRE SEPARATION REQUIREMENTS:				
ALL VIDS (R > 30)	0 HOUR	N/A	602	NOTE 2
FIRE RESISTANCE REQUIREMENTS:				
STRUCTURAL FRAME	0 HOUR	0 HOUR	601	
BEARING WALLS	0 HOUR	0 HOUR	601	
NON-BEARING WALLS (EXTERIOR)	0 HOUR	0 HOUR	602	
NON-BEARING WALLS (INTERIOR)	0 HOUR	0 HOUR	601	
FLOORS	0 HOUR	0 HOUR	601	
ROOFS	0 HOUR	0 HOUR	601	
CORRIDORS	0 HOUR	0 HOUR	1018.1	
STAIRWAYS	0 HOUR	0 HOUR	1009.3	
OCCUPANCY SEPARATION:				
BETWEEN S-1 & F-2	1 HOUR	1 HOUR	508.4	
EGRESS REQUIREMENTS:				
OCCUPANT LOAD		1,731 PERSONS	1004.1.2	NOTE 3
CORRIDOR WIDTH	44"		1018.2	
TRAVEL DISTANCE				
S-1 OCCUPANCY	250		1016.2	
F-2 OCCUPANCY	400		1014.3	
COMMON PATH OF TRAVEL	75		1018.4	
DEAD END CORRIDOR LENGTH	50		1005.3.1	NOTE 4
EGRESS WIDTH, STAIRS	519.3" / 48" MIN	N/A	1005.8.1	NOTE 5
EGRESS WIDTH, DOORS	346.2" / 32" MIN		1015.1.1	
NUMBER OF EXITS PER STORY:	4			
STAIRWAYS:				
MAXIMUM RISER HEIGHT	7" MAX		1009.7.2	
MINIMUM TREAD WIDTH	11" MAX		1009.7.2	
MINIMUM STAIR WIDTH	44"		1009.4	
PLUMBING FIXTURES:				
WATER CLOSETS / URINALS	18		2902.1	
LAVATORIES	18		2902.1	
DRINKING FOUNTAINS	6		2902.1	
SERVICE SINKS	1		2902.1	

- NOTES:
- HEIGHT & AREA LIMITS INCLUDE INCREASE FOR AUTOMATIC SPRINKLERS BUT DO NOT INCLUDE AREA INCREASE FOR FRONTAGE
 - PER SECTION 705.8, EXTERIOR OPENINGS ARE UNLIMITED FOR FIRE SEPARATION OF $\leq 30'$
 - PER SECTION 1004.1.2, OCCUPANT LOAD BASED ON:
 - S-1 OCCUPANCY 46,107 GSFT @ 500 SFT / PERSON = 93 PERSONS
 - F-2 OCCUPANCY 163,745 GSFT @ 100 GSFT / PERSON = 1,638 PERSONS
 - MINIMUM BASED ON OCCUPANT LOAD OF 1,731 PERSONS $\times$ 0.3' PER OCCUPANT = 519.3" TOTAL WIDTH REQUIRED. ALL STAIRWAYS PROVIDED ARE 48" IN WIDTH
 - MINIMUM BASED ON OCCUPANT LOAD OF 1,731 PERSONS $\times$ 0.2' PER OCCUPANT = 346.2" TOTAL WIDTH REQUIRED. ALL EGRESS DOORS ARE 36" MINIMUM IN WIDTH
 - REQUIREMENT BASED ON THE FOLLOWING:
 - WATER CLOSETS & LAVATORIES FOR BOTH S-1 & F-2 OCCUPANCIES ARE 1 PER 100 PERSONS
 - DRINKING FOUNTAINS FOR F-2 OCCUPANCY ARE 1 PER 400 PERSONS
 - DRINKING FOUNTAINS FOR S-1 OCCUPANCY ARE 1 PER 1,000 PERSONS
 - SERVICE SINKS ARE 1 REQUIRED FOR BOTH S-1 & F-2 OCCUPANCIES
 - NOT USED.

M2Ke design

791 Lincoln Street
Hobart, Indiana, 46342-5233
(219) 798-0395
(312) 550-3203
dhill@m2ke.com
www.m2ke.com

M2Ke Design LLC
IN LIC#: PC81500014
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CREATIVE DESIGN
SERVICES

26597 Inverness Dr.
South Bend, IN, 46628
(574) 261-4635



BCCG
BC CONSTRUCTION GROUP

AGRACEL, INC.
Industrial Developers



LAKE CABLE
WAREHOUSE
EXPANSION 2018

2700 EVANS AVE.,
VALPARAISO,
INDIANA, 46383

MARK	DATE	DESCRIPTION
1	12/08/18	SD APPROVAL

NOT FOR
CONSTRUCTION

COVER
SHEET

SCALE: N.T.S. CLIENT: 042

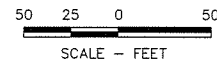
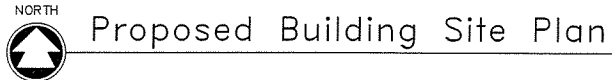
DATE: 05/25/18 PROJECT: 042001

DRAWN: DRH

APPRVD: DRH

A0.0

FILE: 042001A-A0.0-CS



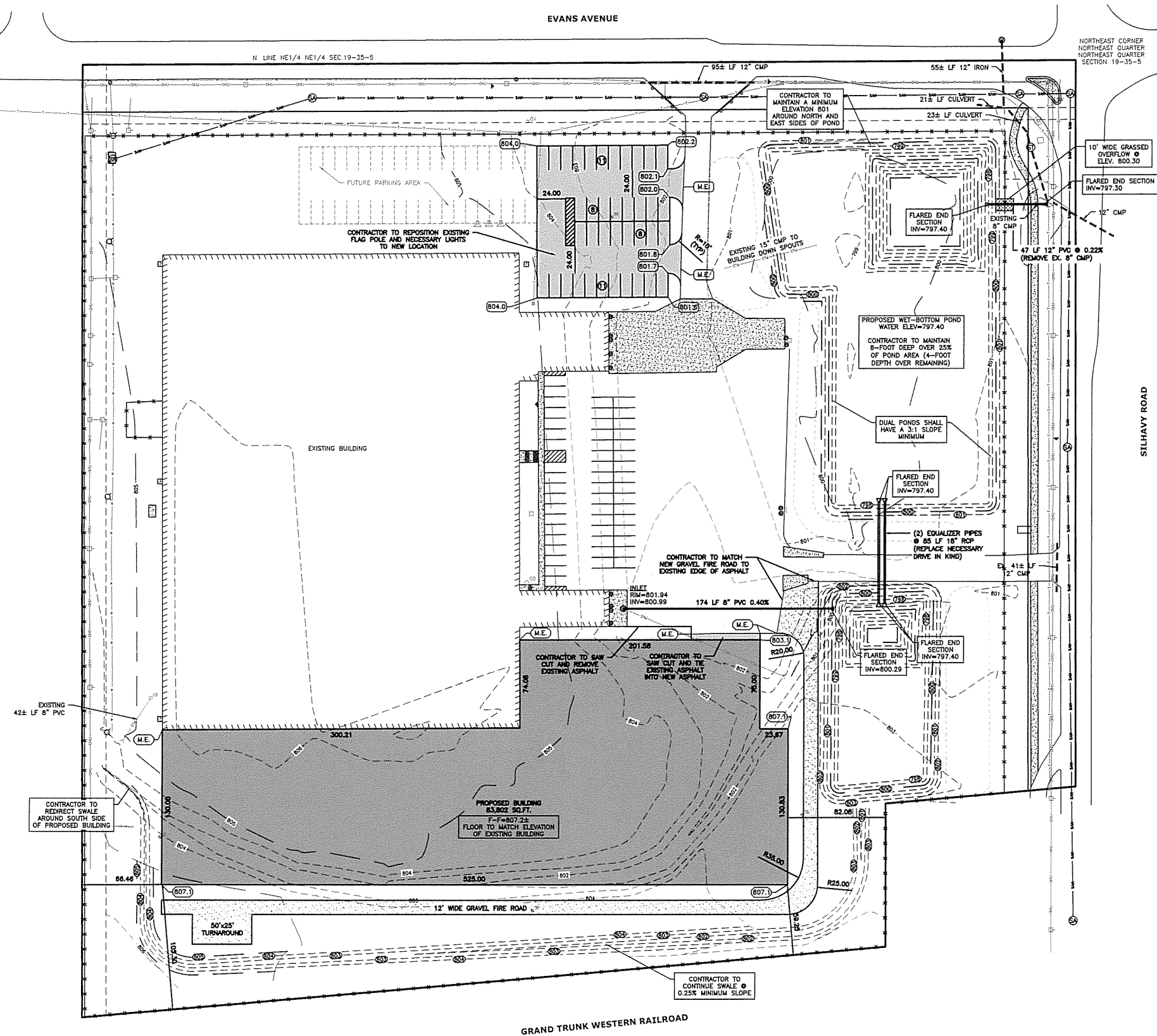
Proposed Site Notes

1. Flood Hazard Statement: The accuracy of any flood hazard data shown on this report is subject to map scale accuracy and to any other uncertainty in location or elevation on the referenced Flood Insurance Rate Map. All of the within described land appears to lie within special flood hazard zone 'X' as said tract plots by scale on community-panel # **18127C02100** of the flood insurance rate maps for **City of Valparaiso** (maps dated **September 30, 2015**).
2. No wetlands exist on this property per Indiana GIS.
3. Property is Zoned INL - Light Industry
 - Lot Area: 1 Acre (minimum)
 - Front Yard Setback: 25' (minimum)
 - Side Yard Setback: 15' (minimum)
 - Rear Yard Setback: 30' (minimum)
 - Building Height: 4 stories or 50' (maximum)
 - Lot Coverage: 65% (maximum)
4. Parking Information:
 - Required: 1 space per 500 sq.ft. + 1 space per company vehicle
 - All proposed parking stalls are 10' wide by 20' deep
5. Underground structures, piping, and utilities are shown for informational purposes based on available information. The contractor shall be responsible for locating all underground utilities and verifying the location of underground structures and piping during construction. Contractor shall coordinate utility tie-in with local utility companies.
6. All work shall be performed in accordance with all local, state and federal codes.
7. The contractor shall obtain all necessary permits for construction.
8. Timely notification of necessary governmental agencies regarding the commencement of construction activity is required.
9. All work performed on the site shall conform to the site construction plans and specifications.
10. The contractor shall be responsible for maintaining safe traffic control on the site and adjacent public streets, as related to both physical site improvements and the movement of construction traffic.
11. All necessary inspections and certifications, as required by ordinance, code, utility companies or government agencies shall be completed before the final connection of services.
12. Net site area: 12.95± Acres
13. Proposed gross building floor area: 83,802 ft²±
13. Lot Coverage for Site:
 - Net Site Area: 564,206± ft²
 - Impervious: ft²
 - Green: ft²
14. Pond Contour Areas:
 - 797.4 - 52,625 ft²
 - 798 - 55,112 ft²
 - 799 - 59,369 ft²
 - 800 - 63,733 ft²
 - 801 - 68,201 ft²

Pond Volume - 170,500± ft³ (3.9 Ac-Ft)
15. Coordinate utility connections based on architectural plans.

Proposed Site Legend

Asphalt	
Building	
Concrete	
Elevation - Ground	
Elevation - Pavement	
Gravel	



McMAHON
ENGINEERS ARCHITECTS
952 South State Road 2
Valparaiso, Indiana 46385
Tel: (219) 462-7743 Fax: (219) 464-8248
mcm@mcmaprp-in.com

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[illegible]

2700 Evans Avenue, Valparaiso, Indiana 46383
Center Township, Porter County, Indiana
Proposed Building Site Plan

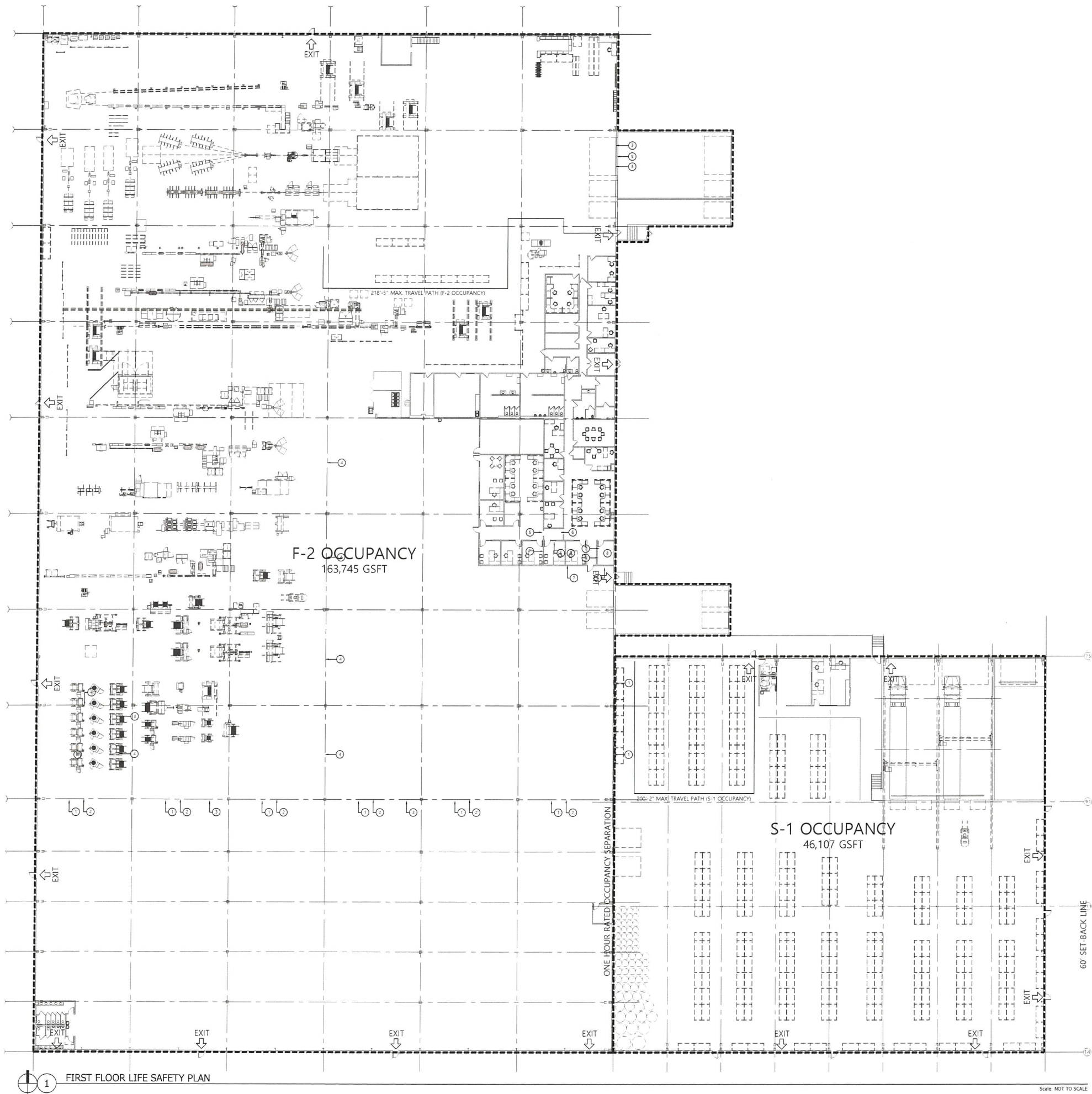
DESIGNED DFH	DRAWN KMC
PROJECT NO. A0547-5-18-00156	
DATE 07/11/2018	
SHEET NO. C2.0	

Douglas F. Homeier

PRELIMINARY

DOUGLAS F. HOMEIER
REGISTERED
No. 203000033
STATE OF INDIANA
LAND SURVEYOR

DOUGLAS F. HOMEIER
REGISTERED
No. PE60910357
STATE OF INDIANA
PROFESSIONAL ENGINEER



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791 Lincoln Street
Hobart, Indiana, 46342-5233
(219) 798-0395
(312) 550-3203
dhill@m2ke.com
www.m2ke.com

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MARK	DATE	DESCRIPTION
4	07/24/18	OWNER REVIEW
5	07/30/18	FOR BID
6	12/07/18	SD APPROVAL

**NOT FOR
CONSTRUCTION**

FIRST FLOOR
LIFE SAFETY PLAN

SCALE: N.T.S. CLIENT: 042

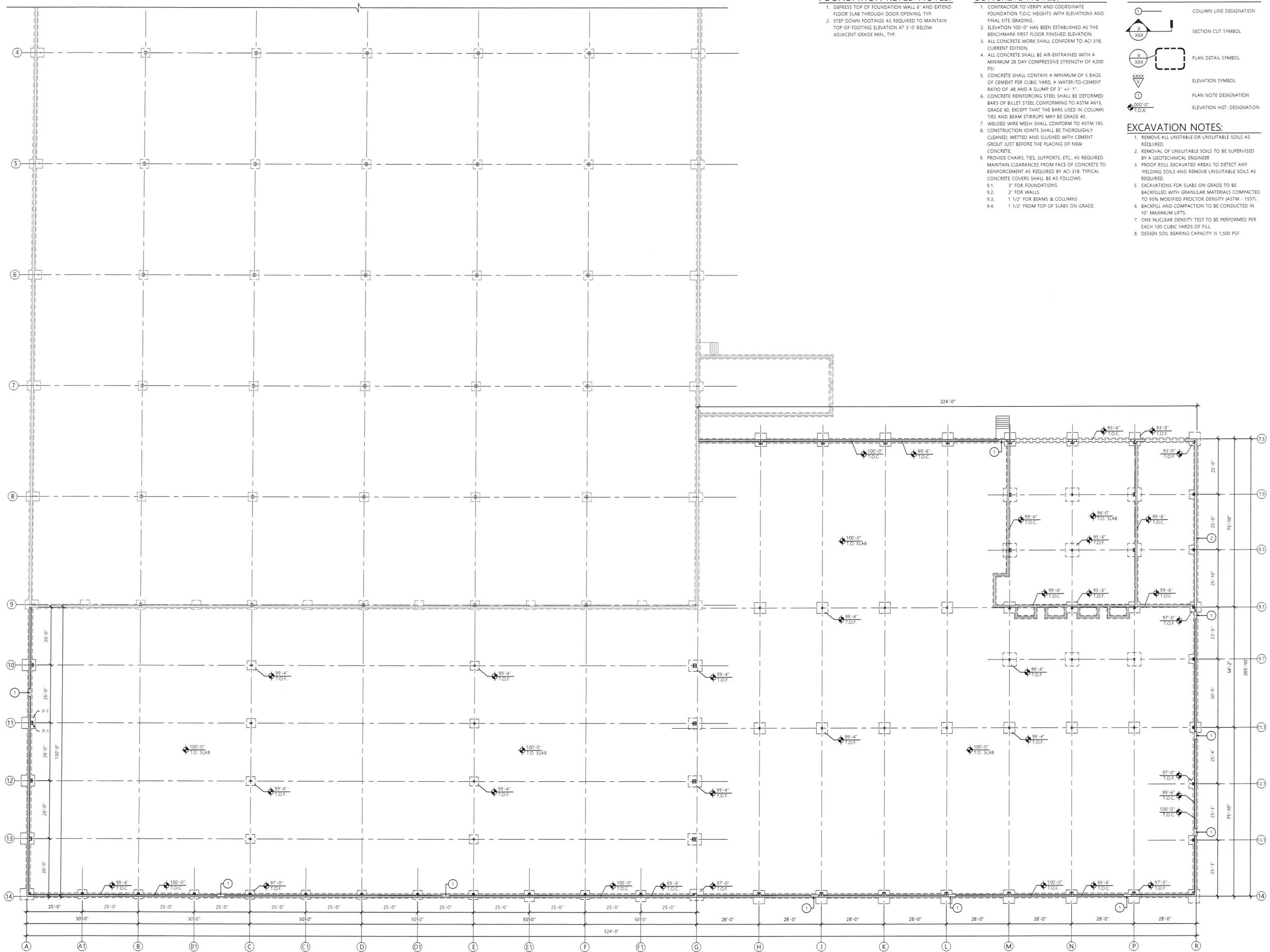
DATE: 05/25/18 PROJECT: 042001

DRAWN: DRH

APPRVD: DRH

A0.1

FILE: 042001A-A0.1-LSP01



1 FOUNDATION PLAN

Scale: 1/16"=1'-0"

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MARK	DATE	DESCRIPTION
1	12/07/18	SD APPROVAL

FOUNDATION PLAN

SCALE: 1/16"=1'-0" CLIENT: 042

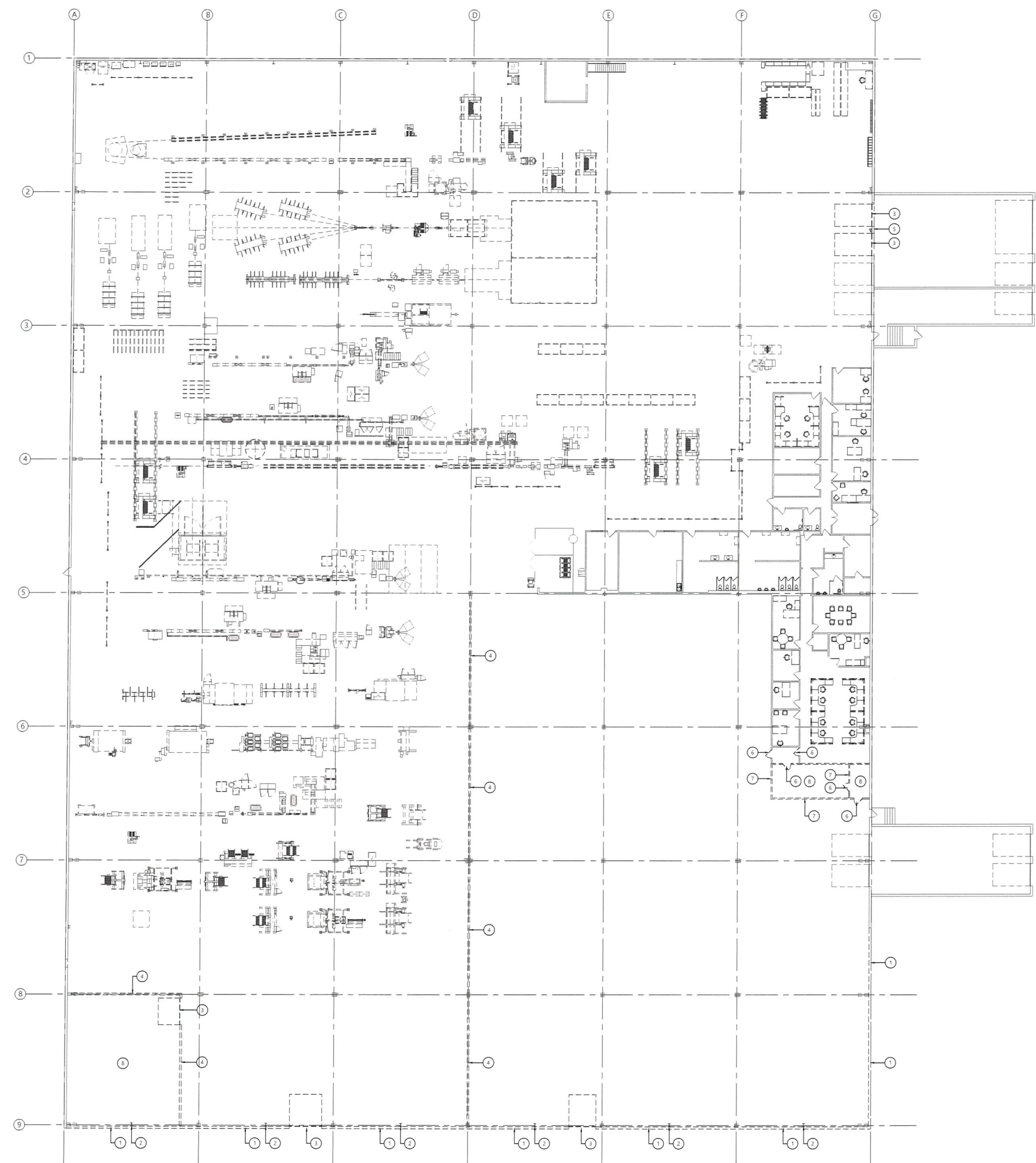
DATE: 05/25/18 PROJECT: 042001

DRAWN: DRH

APPRVD: DRH

S1.1

FILE: 042001A-S1.1-FNDPLAN



1 FIRST FLOOR DEMOLITION PLAN Scale: 1/16"=1'-0"

PLAN SYMBOLS:

- COLUMN LINE DESIGNATION
- INTERIOR ELEVATION SYMBOL
- PLAN DETAIL SYMBOL
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- EXISTING CONSTRUCTION TO REMAIN
- PLAN NOTE DESIGNATION

GENERAL DEMOLITION PLAN NOTES:

1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
2. DEMOLITION SHALL BE CLEAN AND COMPLETE. PATCH OR REPAIR ALL EXISTING CONSTRUCTION TO REMAIN AS REQUIRED TO MATCH SURROUNDING SIMILAR CONSTRUCTION.
3. CONTRACTOR TO PROVIDE ALL TEMPORARY SHORING, BRACING, BARRIERS, PARTITIONS, FENCING OR OTHER TEMPORARY FACILITIES AS REQUIRED.
4. MAINTAIN EXISTING CONSTRUCTION TO REMAIN IN A SAFE AND WEATHER-TIGHT CONDITION THROUGHOUT CONSTRUCTION.
5. MAINTAIN ALL EXISTING UTILITY, MECHANICAL, ELECTRICAL AND PLUMBING SERVICES TO ALL EXISTING AREAS INDICATED TO REMAIN. RE-ROUTE OR RE-WORK EXISTING SERVICES AS REQUIRED.
6. ALL ITEMS NOTED TO BE DEMOLISHED SHALL BE DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS AND POLICIES.
7. VERIFY WITH OWNER PRIOR TO DISPOSING OF ANY ITEMS NOTED TO BE DEMOLISHED.
8. WHERE EXISTING WALL, ROOF OR FLOOR CONSTRUCTION IS INDICATED TO BE DEMOLISHED, DEMOLISH ALL ELECTRICAL, MECHANICAL OR PLUMBING FIXTURES, DEVICES, CONDUIT, WIRING, DUCTWORK OR PIPING LOCATED IN SUCH CONSTRUCTION COMPLETE UNLESS NOTED OTHERWISE.
9. REFER TO ELECTRICAL & MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION. WHERE ELECTRICAL OR MECHANICAL DEMOLITION OCCURS IN EXISTING WALL, FLOOR OR CEILING ASSEMBLIES TO REMAIN, PATCH & INFILL EXISTING ASSEMBLIES TO REMAIN TO MATCH EXISTING ADJACENT SURFACES.
10. OWNER TO REMOVE ALL LOOSE FURNITURE, FIXTURES OR EQUIPMENT PRIOR TO START OF DEMOLITION.
11. ALL DEMOLITION WORK SHOWN OR IMPLIED TO BE PERFORMED BY THE CONTRACTOR UNLESS NOTED OTHERWISE.

DEMOLITION KEYED PLAN NOTES:

1. DEMOLISH METAL SIDING AND WALL GIRTS COMPLETE, TYP.
2. DEMOLISH END WALL COLUMN & BASE COMPLETE, TYP.
3. DEMOLISH OVERHEAD SECTIONAL DOOR COMPLETE, TO INCLUDE TRACKS, HARDWARE & ACCESSORIES.
4. DEMOLISH NON-LOAD BEARING CMU MASONRY WALL COMPLETE, TYP.
5. CUT & DEMOLISH EXISTING WALL GIRTS, MASONRY VENEER AND METAL SIDING AS REQUIRED TO ACCOMMODATE NEW OVERHEAD SECTIONAL DOOR.
6. DEMOLISH DOOR, FRAME & HARDWARE COMPLETE, TYP.
7. DEMOLISH GYPSUM BOARD WALL ASSEMBLY COMPLETE, TYP.
8. DEMOLISH FLOOR COVERS AND FINISHED CEILING SYSTEMS COMPLETE IN THIS ROOM OR AREA.

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791 Lincoln Street
Hobart, Indiana, 46342-5233
(219) 798-0395
(312) 550-3203
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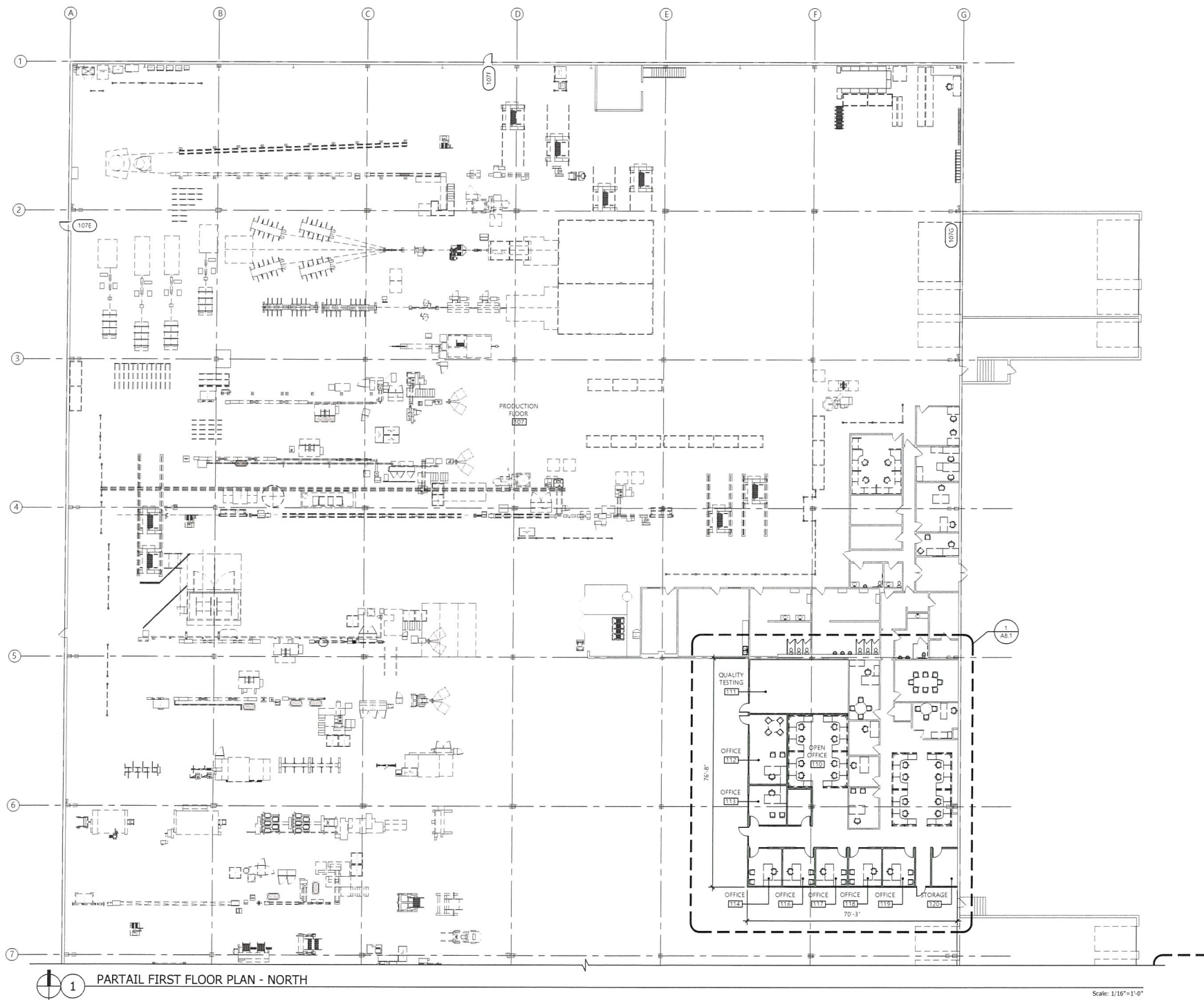
MARK	DATE	DESCRIPTION
1	12/07/18	SD APPROVAL

NOT FOR
CONSTRUCTION

FIRST FLOOR
DEMOLITION PLAN

SCALE: 1/16"=1'-0" CLIENT: 042
DATE: 05/25/18 PROJECT: 042001
DRAWN: DRH
APPRVD: DRH
FILE: 042001A-AD1 1-XP01

AD1.1



PLAN SYMBOLS:

	COLUMN LINE DESIGNATION
	SECTION CUT SYMBOL
	PLAN DETAIL SYMBOL
	ELEVATION SYMBOL
	PLAN NOTE DESIGNATION
	EQUIPMENT SCHEDULE DESIGNATION
	ACCESSORY SCHEDULE DESIGNATION
	WINDOW SCHEDULE DESIGNATION
	DOOR SCHEDULE DESIGNATION
	WALL TYPE DESIGNATION
	ELEVATION HEIGHT DESIGNATION
	1 HOUR RATED PARTITION

- GENERAL PLAN NOTES:
- DO NOT SCALE PLANS. ENLARGED PLAN DIMENSIONS TAKE PRECEDENCE OVER SMALLER SCALE PLAN DIMENSIONS.
 - ALL DIMENSIONS ARE TAKEN FROM THE FINISHED FACE OF WALLS, FACE OF CONCRETE OR MASONRY OR COLUMN LINES UNLESS NOTED OTHERWISE.
 - ALL INTERIOR WALLS ARE TO B3 WALLS UNLESS NOTED OTHERWISE.
 - THE HINGE SIDE FACE OF ALL INTERIOR DOOR FRAMES TO BE SET 4 1/2" FROM THE FINISHED FACE OF THE ADJACENT PERPENDICULAR WALL UNLESS NOTED OTHERWISE.
 - ELEVATION 100'-0" HAS BEEN ESTABLISHED AS THE BENCHMARK FINISHED FLOOR ELEVATION.
 - PROVIDE SOLID WOOD BLOCKING AT ALL WALL MOUNTED DEVICES AND FIXTURES.
 - REFER TO BID DOCUMENTS FOR ALLOWANCES AND UNIT PRICING REQUIREMENTS.
 - ALL WORK SHOW OR IMPLIED TO BE CONTRACTOR FURNISHED & INSTALLED (C.F.C.I) UNLESS NOTED OTHERWISE.

- KEYED PLAN NOTES:
- ALIGN FINISHED SURFACES.

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1	10/30/18	OWNER REVIEW
2	11/01/18	SD APPROVAL
3	12/07/18	SD APPROVAL
4	12/18/18	COORDINATION

NOT FOR
CONSTRUCTION

PARTIAL
FIRST FLOOR
PLAN - NORTH

SCALE: 1/16"=1'-0" CLIENT: 042

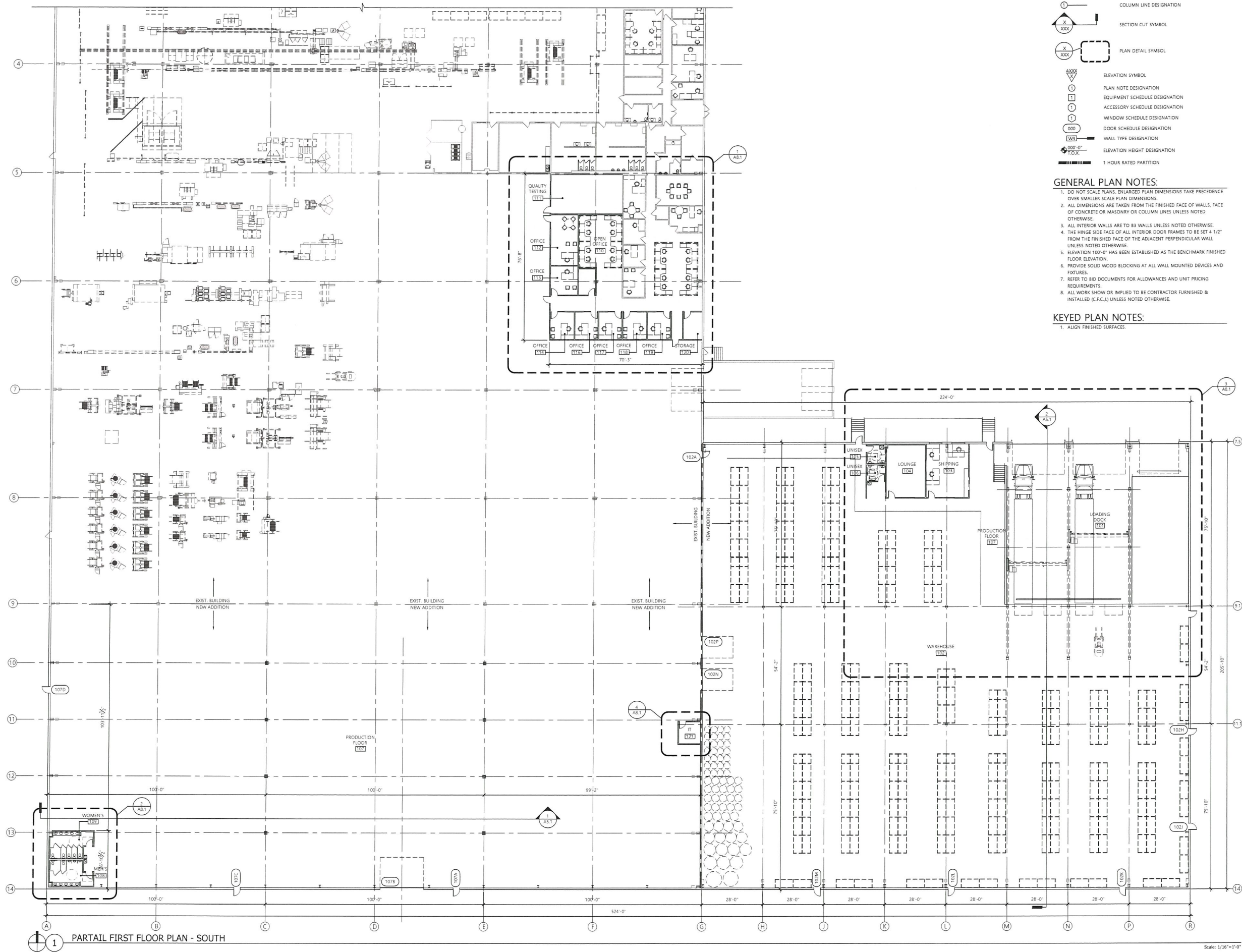
DATE: 05/25/18 PROJECT: 042001

DRAWN: DRH

APPRVD: DRH

A1.1

FILE: 042001A-A1.1-FP01



PLAN SYMBOLS:

- COLUMN LINE DESIGNATION
- SECTION CUT SYMBOL
- PLAN DETAIL SYMBOL
- ELEVATION SYMBOL
- PLAN NOTE DESIGNATION
- EQUIPMENT SCHEDULE DESIGNATION
- ACCESSORY SCHEDULE DESIGNATION
- WINDOW SCHEDULE DESIGNATION
- DOOR SCHEDULE DESIGNATION
- WALL TYPE DESIGNATION
- ELEVATION HEIGHT DESIGNATION
- 1 HOUR RATED PARTITION

GENERAL PLAN NOTES:

- DO NOT SCALE PLANS. ENLARGED PLAN DIMENSIONS TAKE PRECEDENCE OVER SMALLER SCALE PLAN DIMENSIONS.
- ALL DIMENSIONS ARE TAKEN FROM THE FINISHED FACE OF WALLS, FACE OF CONCRETE OR MASONRY OR COLUMN LINES UNLESS NOTED OTHERWISE.
- ALL INTERIOR WALLS ARE TO B3 WALLS UNLESS NOTED OTHERWISE.
- THE HINGE SIDE FACE OF ALL INTERIOR DOOR FRAMES TO BE SET 4 1/2" FROM THE FINISHED FACE OF THE ADJACENT PERPENDICULAR WALL UNLESS NOTED OTHERWISE.
- ELEVATION 100'-0" HAS BEEN ESTABLISHED AS THE BENCHMARK FINISHED FLOOR ELEVATION.
- PROVIDE SOLID WOOD BLOCKING AT ALL WALL MOUNTED DEVICES AND FIXTURES.
- REFER TO BID DOCUMENTS FOR ALLOWANCES AND UNIT PRICING REQUIREMENTS.
- ALL WORK SHOW OR IMPLIED TO BE CONTRACTOR FURNISHED & INSTALLED (C.F.C.I.) UNLESS NOTED OTHERWISE.

KEYED PLAN NOTES:

- ALIGN FINISHED SURFACES.

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(312) 550-3203
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2	12/18/18	COORDINATION

NOT FOR
CONSTRUCTION

PARTIAL FIRST
FIRST FLOOR
PLAN - SOUTH

SCALE: 1/16"=1'-0" CLIENT: 042

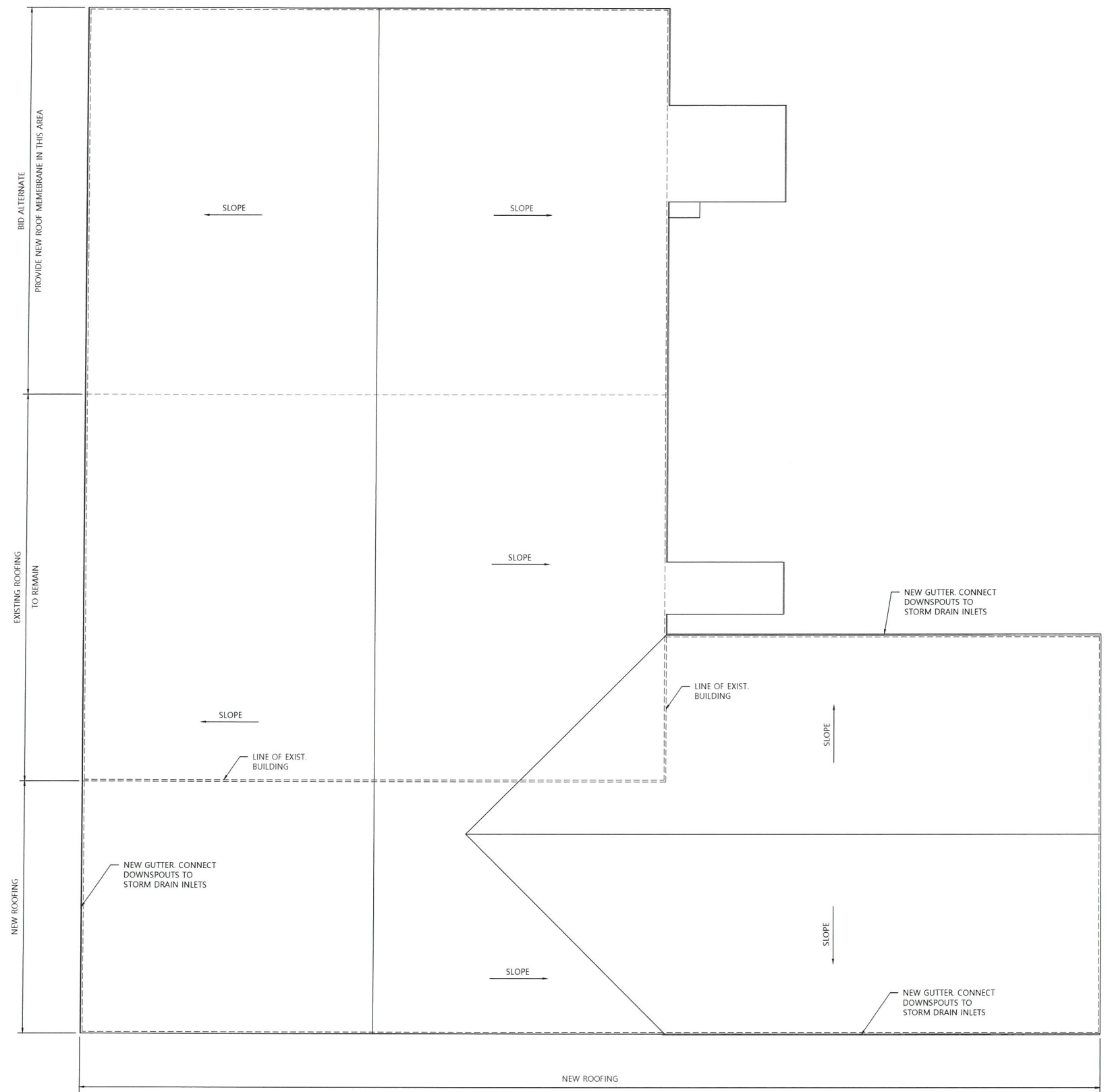
DATE: 05/25/18 PROJECT: 042001

DRAWN: DRH

APPRVD: DRH

FILE: 042001A-A1.2-FP01

A1.2



ROOF PLAN

Scale: 3/64"=1'-0"

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791 Lincoln Street
Hobart, Indiana, 46342-5233
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1	10/30/18	OWNER REVIEW
2	12/07/18	SD APPROVAL

NOT FOR
CONSTRUCTION

ROOF PLAN

SCALE: 3/64"=1'-0" CLIENT: 042

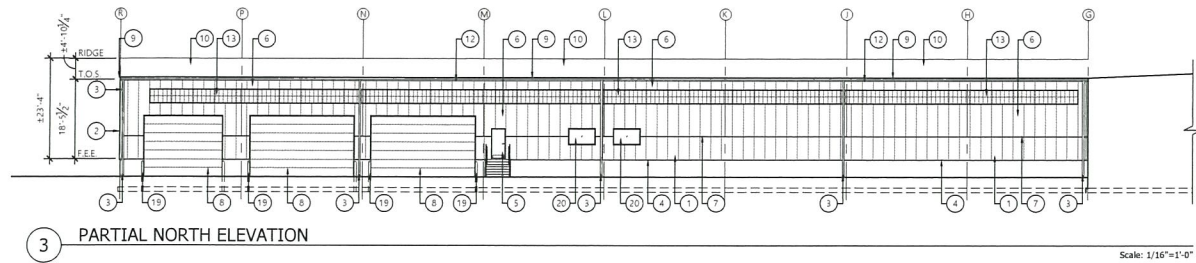
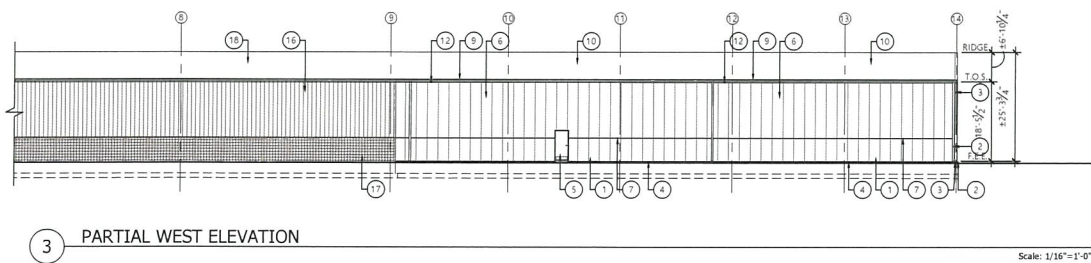
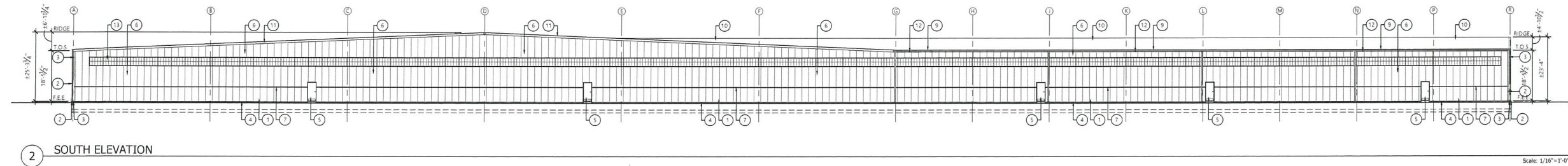
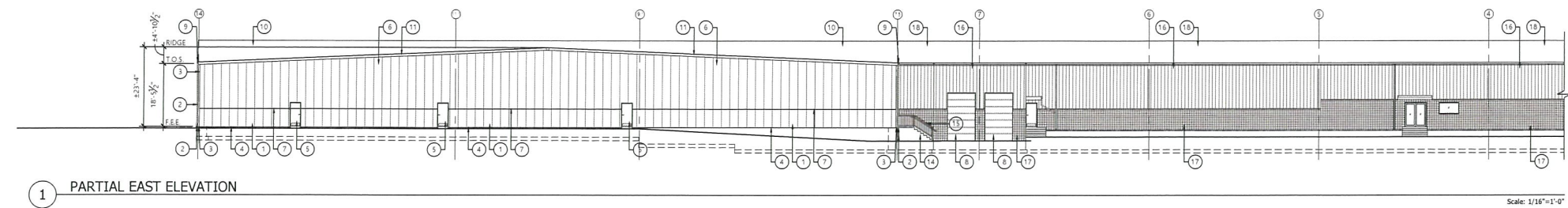
DATE: 05/25/18 PROJECT: 042001

DRAWN: DRH

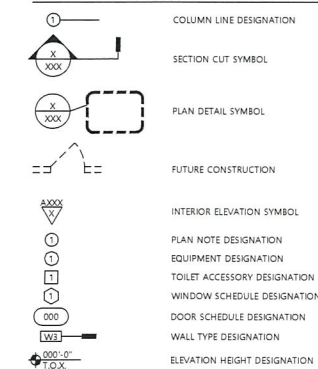
APPRVD: DRH

A3.1

FILE: 042001A-A3.1-RFP



ELEVATION SYMBOLS:



GENERAL ELEVATION NOTES:

- DO NOT SCALE PLANS: ENLARGED PLAN DIMENSIONS TAKE PRECEDENCE OVER SMALLER SCALE PLAN DIMENSIONS.
- ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CONCRETE OR MASONRY UNLESS NOTED OTHERWISE.
- ALL FLOOR LEVEL DIMENSIONS ARE TAKEN FROM THE FACE OF CONCRETE SLABS UNLESS NOTED OTHERWISE.
- ALL HEAD HEIGHTS ARE TAKEN FROM THE ADJACENT FLOOR LEVEL UNLESS NOTED OTHERWISE.
- REFER TO TYPICAL EXTERIOR WALL SECTIONS FOR ADDITIONAL DETAIL.
- REFER TO DOOR & WINDOW SCHEDULES FOR DOOR & WINDOW TYPES AND SIZES.
- ALUMINUM STOREFRONT TO BE KAWNEER TRIFAB 451T WITH 350 STANDARD ENTRANCE DOORS.
- 1\"/>

ELEVATION KEYED NOTES:

- ACCENT COLOR METAL WALL PANELS BY MTL. BUILDING MANUF. TYP.
- DOWNSPOUT BY MTL. BUILDING MANUF. CONNECT TO STORM DRAIN PER SITE / CIVIL DRAWINGS, TYP.
- CORNER TRIM BY MTL. BUILDING MANUF. TYP.
- BASE FLASHING BY MTL. BUILDING MANUF. TYP.
- INSULATED MTL. DOOR, FRAME & HARDWARE BY MTL. BUILDING MANUF. TYP.
- METAL WALL PANELS BY MTL. BUILDING MANUF. TYP.
- TRANSITION TRIM BY MTL. BUILDING MANUF. TYP.
- INSULATED MTL. SECTIONAL OVER-HEAD DOOR, TYP.
- GUTTER BY MTL. BUILDING MANUF. TYP.
- E.P.D.M. ROOF MEMBRANE ON NAIL BOARD SUBSTRATE, TYP.
- RAKE TRIM BY MTL. BUILDING MANUF. TYP.
- FASCIA TRIM BY MTL. BUILDING MANUF. TYP.
- KAL-WALL TRANSLUCENT WALL PANEL, TYP.
- CONC. STEPS & LANDING, TYP.
- TUBE STEEL RAILING, TYP.
- EXIST. METAL WALL PANELS TO REMAIN. PAINT TO MATCH NEW WALL PANELS, TYP.
- EXIST. MASONRY VENEER TO REMAIN. PAINT TO MATCH NEW ACCENT WALL PANELS, TYP.
- EXIST. ROOF MEMBRANE TO REMAIN, TYP.
- STEEL PIPE BOLLARD W/ CONC. FILL, TYP.
- ALUM. STOREFRONT WINDOW UNIT, TYP.

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1	10/30/18	OWNER REVIEW
2	11/01/18	SD APPROVAL
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EXTERIOR ELEVATIONS

SCALE: SCALE CLIENT: 042

DATE: 05/25/18 PROJECT: 042001

DRAWN: DRH

APPRVD: DRH

FILE: 042001A-A4.1-XElevs

A4.1

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1	10/30/18	OWNER REVIEW
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3	12/07/18	SD APPROVAL

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TYPICAL
BUILDING
SECTIONS

SCALE: SCALE CLIENT: 042

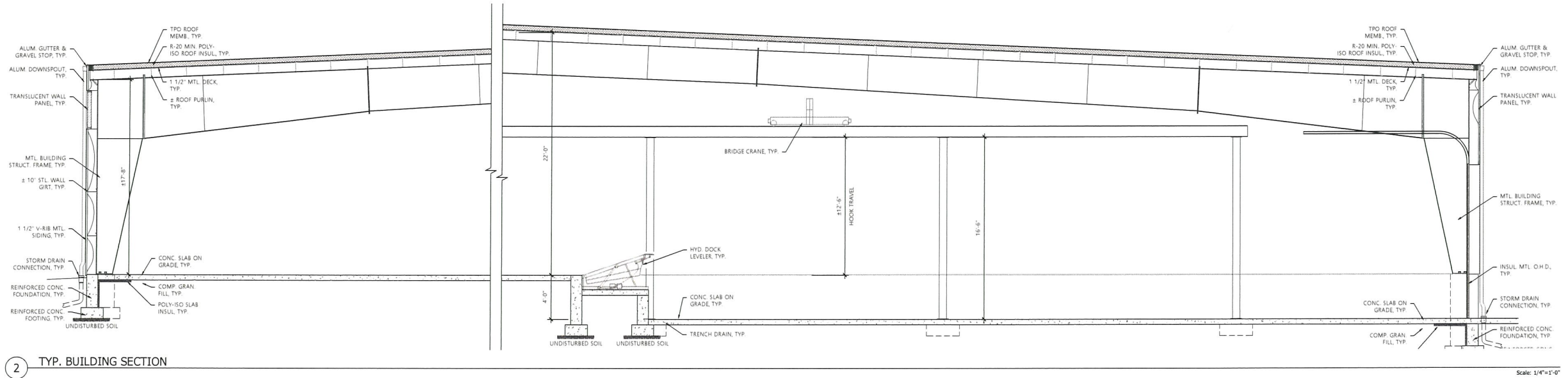
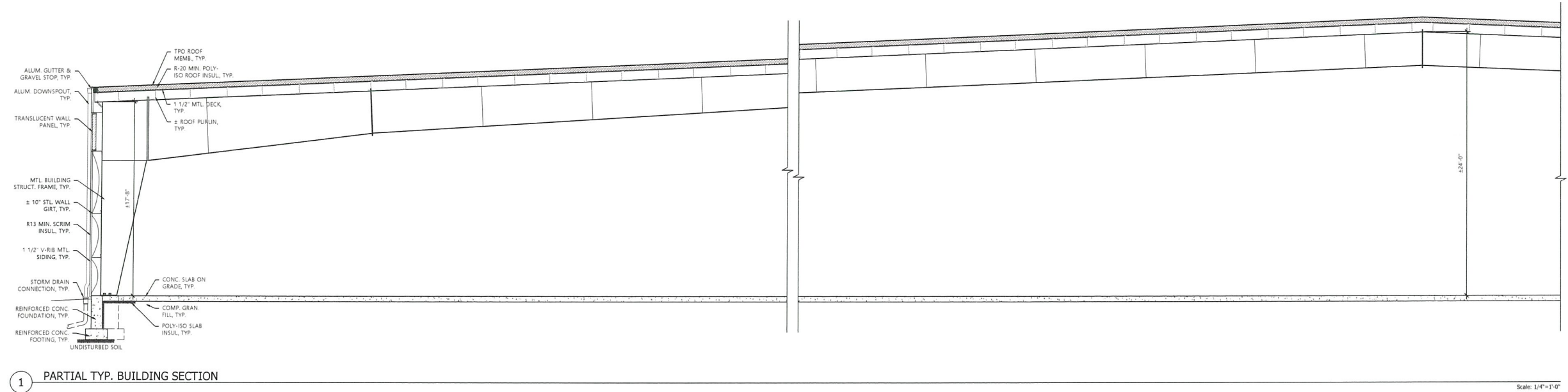
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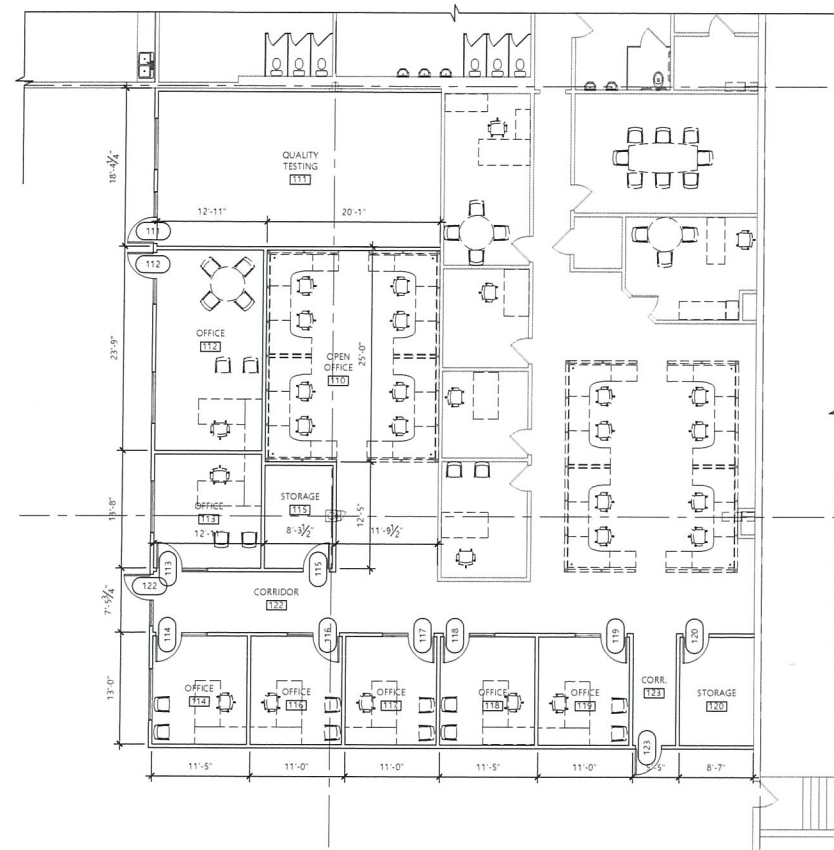
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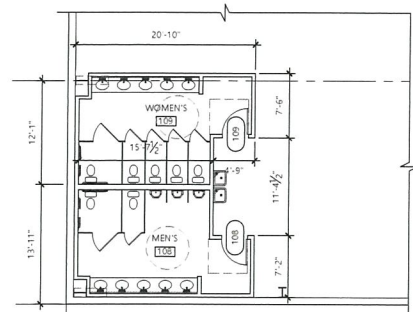
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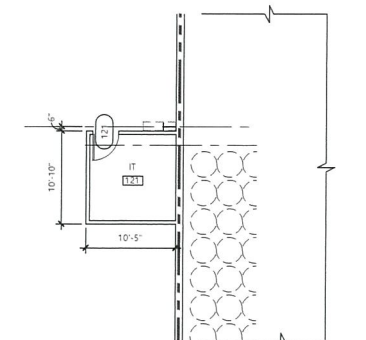




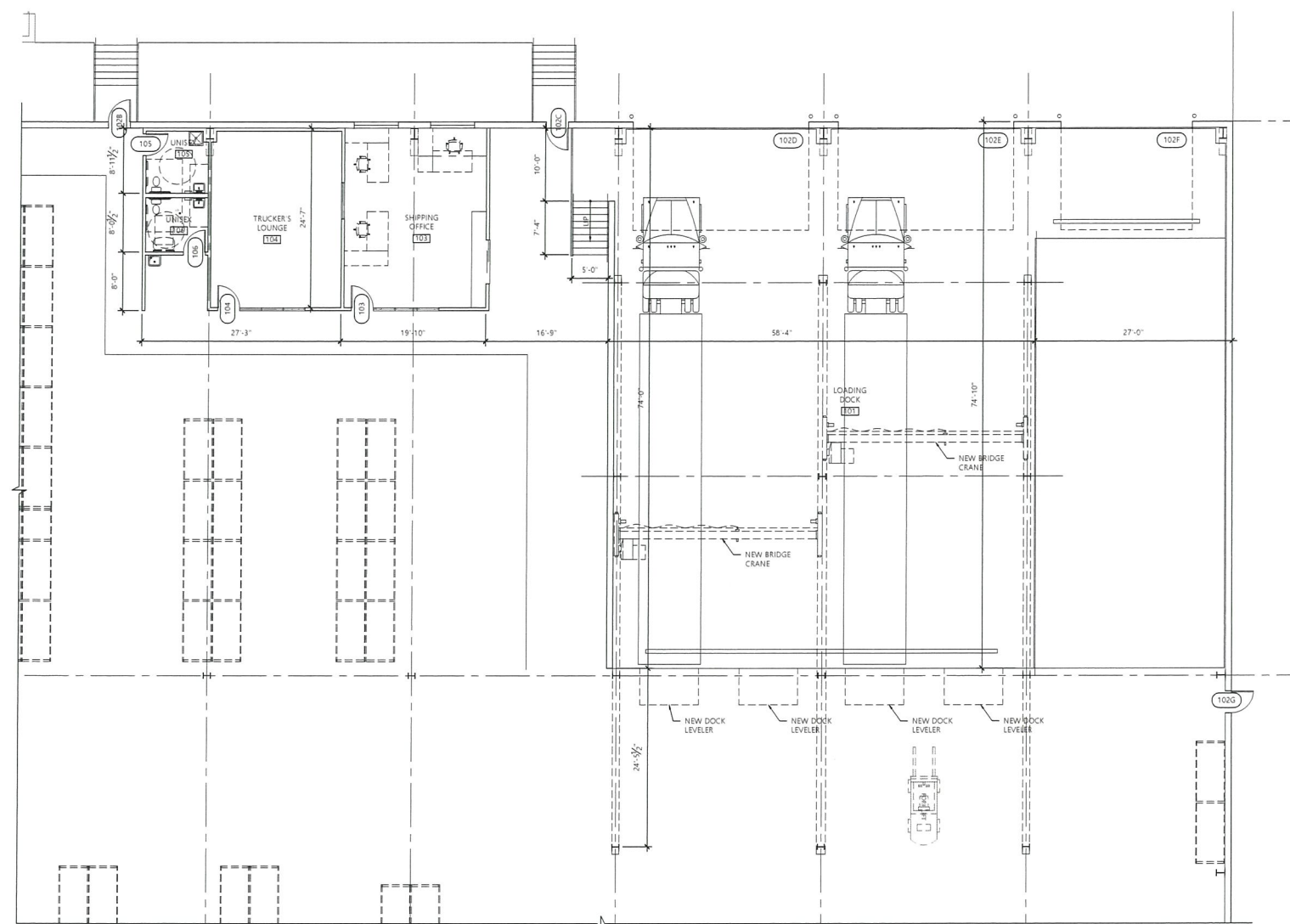
1 ENLARGED PLAN - NEW OFFICES
Scale: 1/8"=1'-0"



2 ENLARGED PLAN - NEW TOILET ROOMS
Scale: 1/8"=1'-0"



4 ENLARGED PLAN - NEW IT ROOM
Scale: 1/8"=1'-0"



3 ENLARGED PLAN - NEW LOADING DOCK AREA
Scale: 1/8"=1'-0"

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4	12/18/18	COORDINATION

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ENLARGED FLOOR PLANS

SCALE: SCALE CLIENT: 042

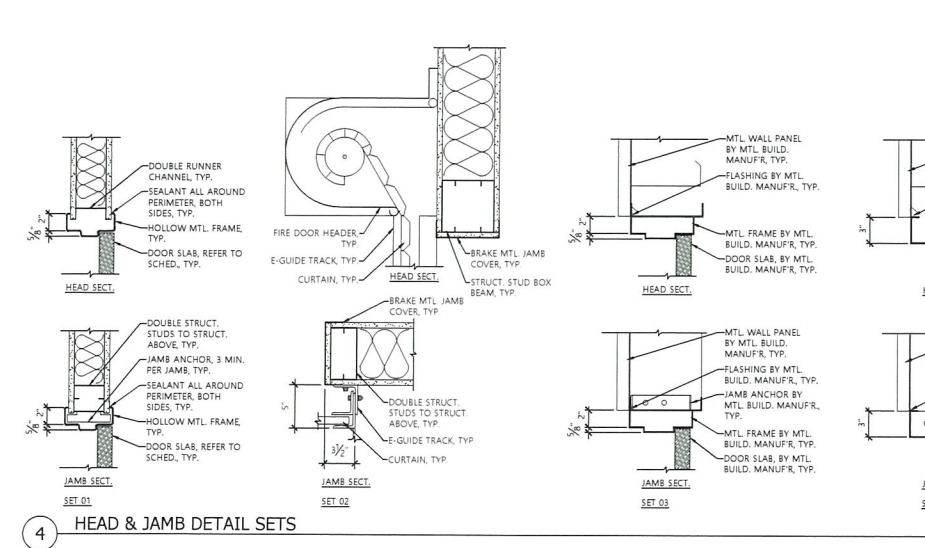
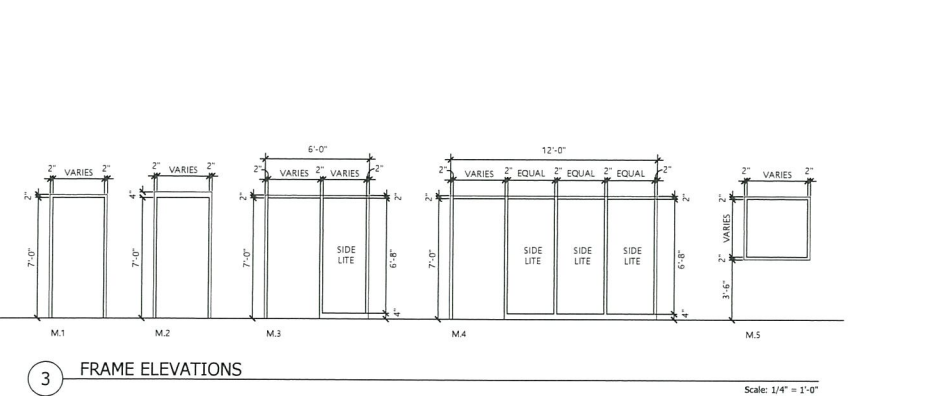
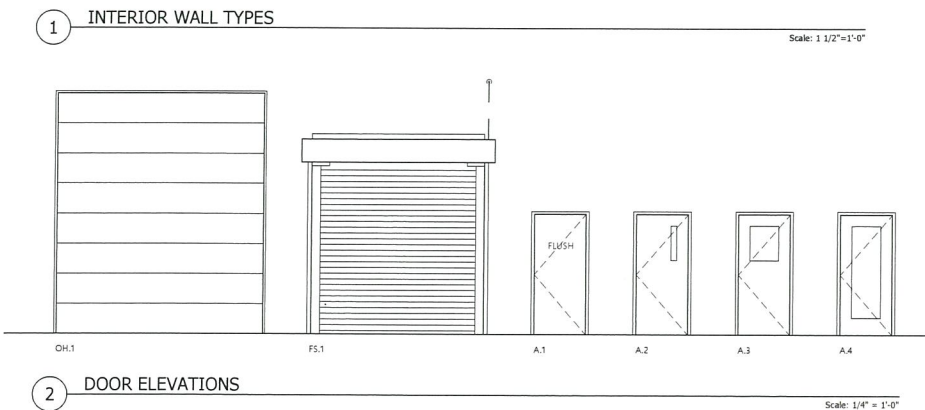
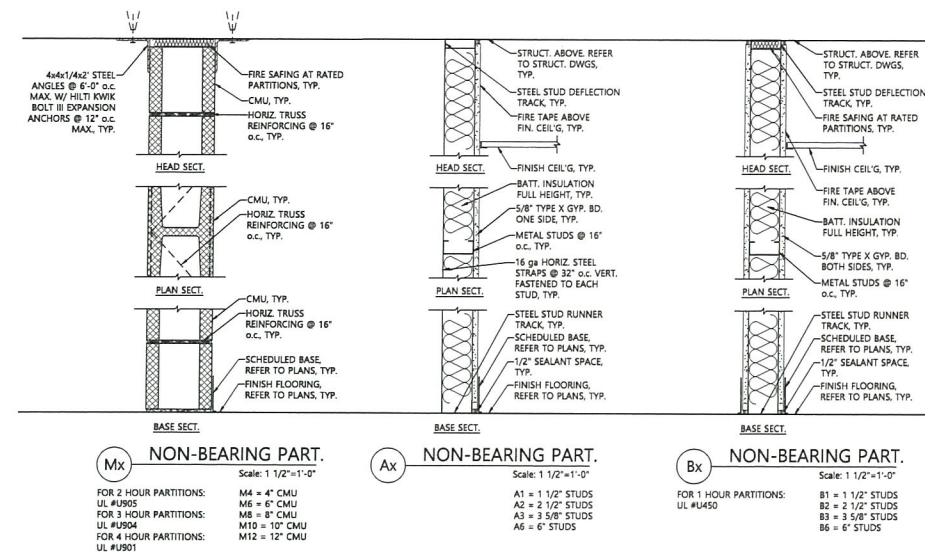
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DRAWN: DRH

APPRVD: DRH

FILE: 042001A-A8.1-ENLGPLNS

A8.1



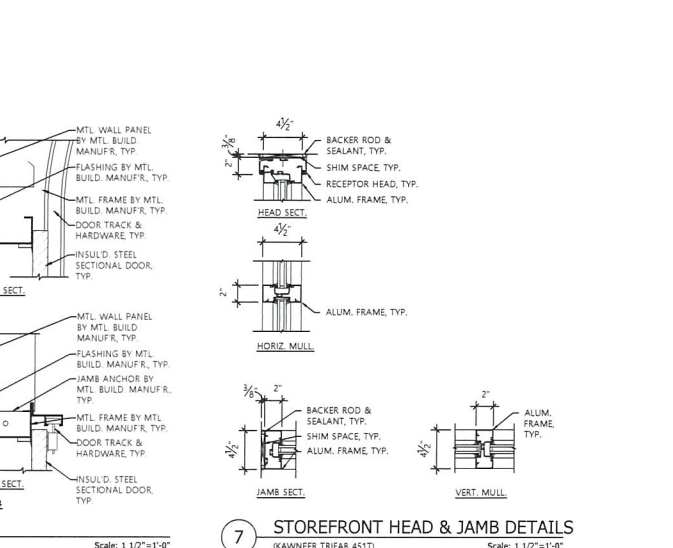
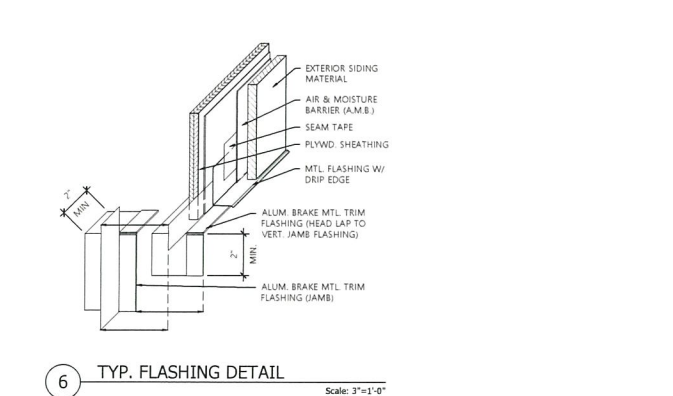
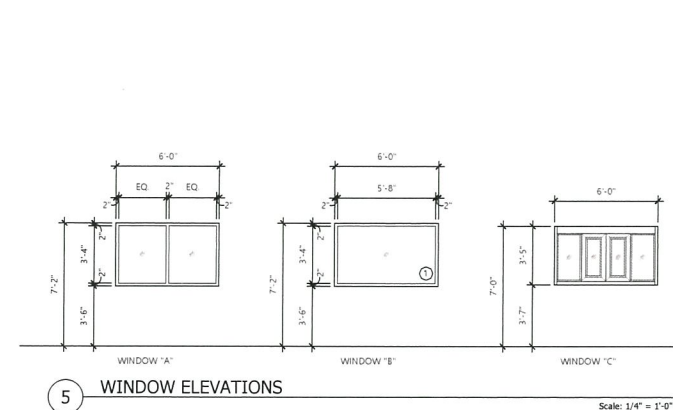
WINDOW SCHEDULE											
SYMBOL	MANUF.	CAT./MOD. NO.	ELEV.	DETAIL	STYLE	MATERIAL	FINISH	ROUGH/MASONRY OPENING (WH)	GLAZING	REMARKS	
A	CECO		5/A10.0	4/A10.0	FIXED	H. MTL. PAINT'D	6'-0" x 3'-8"		1/4" TEMP'D		
B	KAWNEER	451T STOREFRONT	5/A10.0	7/A10.0	SCR.SP.	ALUM.	CLR. AN.	6'-0" x 3'-8"	1" INSUL.		
C	QUICKSERVE	BPEC-7241	5/A10.0		SLIDER	ALUM.	CLR. AN.	6'-0" 1/2" x 3'-5 1/2"	1/4" TEMP'D		

NOTES:

1. ALUMINUM WINDOWS TO BE KAWNEER 451T SCREW SPLINE STOREFRONT FRAMING SYSTEM WITH CLEAR ANODIZED FINISH.
2. GLASS TYPE (Q) TO BE VIRACON VUE1-40 1" INSULATED GLASS UNITS WITH 1/4" SOLARBAN 60 CLEAR GLASS BY PPG (OR EQUAL) FOR BOTH PANES.
3. PROVIDE TEMPERED FLOAT GLASS PANES WHERE REQUIRED BY CODE.
4. VERIFY ALL ROUGH OPENINGS IN THE FIELD PRIOR TO WINDOW FABRICATION.

WALL TYPE SUFFIXES

XX.1 PROVIDE FIRE RATED SOUND BATT. INSULATION, FULL HEIGHT.
XX.2 OMIT SOUND BATT INSULATION.
XX.3 STOP DRYWALL 6" ABOVE FINISHED CEILING, CONTINUE FRAMING TO STRUCTURE.
XX.4 STOP FRAMING & DRYWALL 6" ABOVE FINISHED CEILING, BRACE TOP OF WALL TO STRUCTURE @ 4'-0" o.c.



DOOR SCHEDULE											
DR. NO.	RM. NO.	ROOM NAME	RAT'G	DOOR	FRAME	DETAIL	HDWR.	REMARKS			
100A	101	LOADING DOCK		24'-0x14'-0 IN.MTL. CH1, 2/A10.1	N/A	SET 04, 4/A10.1	SET 03	OVERHEAD DOOR CO. INSUL'D MTL. O.H.D.			
101B	101	LOADING DOCK		24'-0x14'-0 IN.MTL. CH1, 2/A10.1	N/A	SET 04, 4/A10.1	SET 02	OVERHEAD DOOR CO. INSUL'D MTL. O.H.D.			
101C	101	LOADING DOCK		18'-0x14'-0 IN.MTL. CH1, 2/A10.1	N/A	SET 04, 4/A10.1	SET 02	OVERHEAD DOOR CO. INSUL'D MTL. O.H.D.			
102A	102	WAREHOUSE		60 MIN. 3'-0x7'-0 H.MTL. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 03, 4/A10.1	SET 05	CECO DOOR & FRAME			
102B	102	WAREHOUSE		3'-0x7'-0 H.MTL. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 03, 4/A10.1	SET 01	DOOR & FRAME BY METAL BUILDING MANUFACTURER			
102C	102	WAREHOUSE		3'-0x7'-0 H.MTL. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 03, 4/A10.1	SET 01	DOOR & FRAME BY METAL BUILDING MANUFACTURER			
102D	102	WAREHOUSE		3'-0x7'-0 H.MTL. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 03, 4/A10.1	SET 01	DOOR & FRAME BY METAL BUILDING MANUFACTURER			
102E	102	WAREHOUSE		3'-0x7'-0 H.MTL. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 03, 4/A10.1	SET 01	DOOR & FRAME BY METAL BUILDING MANUFACTURER			
102F	102	WAREHOUSE		3'-0x7'-0 H.MTL. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 03, 4/A10.1	SET 01	DOOR & FRAME BY METAL BUILDING MANUFACTURER			
102G	102	WAREHOUSE		3'-0x7'-0 H.MTL. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 03, 4/A10.1	SET 01	DOOR & FRAME BY METAL BUILDING MANUFACTURER			
102H	102	WAREHOUSE		3'-0x7'-0 H.MTL. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 03, 4/A10.1	SET 01	DOOR & FRAME BY METAL BUILDING MANUFACTURER			
102I	102	WAREHOUSE		3'-0x7'-0 H.MTL. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 03, 4/A10.1	SET 01	DOOR & FRAME BY METAL BUILDING MANUFACTURER			
102J	102	WAREHOUSE		3'-0x7'-0 H.MTL. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 03, 4/A10.1	SET 01	DOOR & FRAME BY METAL BUILDING MANUFACTURER			
102K	102	WAREHOUSE		60 MIN. 3'-0x7'-0 H.MTL. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 03, 4/A10.1	SET 06	CECO DOOR & FRAME			
102L	102	WAREHOUSE		60 MIN. 12'-0x14'-0 IN.MTL. FS.1, 2/A10.1	H. MTL. N/A	SET 02, 4/A10.1	N/A	OVERHEAD DOOR CO. FIRE-KING COILING FIRE SHUTTER			
103M	103	WAREHOUSE		60 MIN. 12'-0x14'-0 IN.MTL. FS.1, 2/A10.1	H. MTL. N/A	SET 02, 4/A10.1	N/A	OVERHEAD DOOR CO. FIRE-KING COILING FIRE SHUTTER			
103N	102	WAREHOUSE		60 MIN. 3'-0x7'-0 H.MTL. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 03, 4/A10.1	SET 06	CECO DOOR & FRAME			
103	103	SHIPPING OFFICE		3'-0x7'-0 FLWD. A.1, 2/A10.1	H. MTL. N/A, 3/A10.1	SET 01, 4/A10.1	SET 04	CECO DOOR & FRAME			
104	104	TRUCKER'S LOUNGE		3'-0x7'-0 FLWD. A.1, 2/A10.1	H. MTL. N/A	SET 01, 4/A10.1	SET 05	CECO DOOR & FRAME			
105	105	UNISEX		3'-0x7'-0 FLWD. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 01, 4/A10.1	SET 05	CECO DOOR & FRAME			
106	106	UNISEX		3'-0x7'-0 FLWD. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 01, 4/A10.1	SET 05	CECO DOOR & FRAME			
107A	107	PRODUCTION FLOOR		3'-0x7'-0 H.MTL. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 03, 4/A10.1	SET 01	DOOR & FRAME BY METAL BUILDING MANUFACTURER			
107B	107	PRODUCTION FLOOR		20'-0x14'-0 IN.MTL. CH1, 2/A10.1	N/A	SET 04, 4/A10.1	SET 03	OVERHEAD DOOR CO. INSUL'D MTL. O.H.D.			
107C	107	PRODUCTION FLOOR		3'-0x7'-0 H.MTL. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 03, 4/A10.1	SET 01	DOOR & FRAME BY METAL BUILDING MANUFACTURER			
107D	107	PRODUCTION FLOOR		3'-0x7'-0 H.MTL. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 03, 4/A10.1	SET 01	DOOR & FRAME BY METAL BUILDING MANUFACTURER			
107E	107	PRODUCTION FLOOR		3'-0x7'-0 H.MTL. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 03, 4/A10.1	SET 01	DOOR & FRAME BY METAL BUILDING MANUFACTURER			
107F	107	PRODUCTION FLOOR		3'-0x7'-0 H.MTL. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 03, 4/A10.1	SET 01	DOOR & FRAME BY METAL BUILDING MANUFACTURER			
107G	107	PRODUCTION FLOOR		20'-0x14'-0 IN.MTL. CH1, 2/A10.1	N/A	SET 04, 4/A10.1	SET 03	OVERHEAD DOOR CO. INSUL'D MTL. O.H.D.			
108	108	MEN'S		3'-0x7'-0 FLWD. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 01, 4/A10.1	SET 05	CECO DOOR & FRAME			
109	109	WOMEN'S		3'-0x7'-0 FLWD. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 01, 4/A10.1	SET 05	CECO DOOR & FRAME			
111	111	QUALITY TESTING		3'-0x7'-0 FLWD. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 01, 4/A10.1	SET 04	CECO DOOR & FRAME			
112	112	OFFICE		3'-0x7'-0 FLWD. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 01, 4/A10.1	SET 04	CECO DOOR & FRAME			
113	113	OFFICE		3'-0x7'-0 FLWD. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 01, 4/A10.1	SET 04	CECO DOOR & FRAME			
114	114	OFFICE		3'-0x7'-0 FLWD. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 01, 4/A10.1	SET 04	CECO DOOR & FRAME			
115	115	STORAGE		3'-0x7'-0 FLWD. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 01, 4/A10.1	SET 07	CECO DOOR & FRAME			
116	116	OFFICE		3'-0x7'-0 FLWD. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 01, 4/A10.1	SET 04	CECO DOOR & FRAME			
117	117	OFFICE		3'-0x7'-0 FLWD. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 01, 4/A10.1	SET 04	CECO DOOR & FRAME			
118	118	OFFICE		3'-0x7'-0 FLWD. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 01, 4/A10.1	SET 04	CECO DOOR & FRAME			
119	119	OFFICE		3'-0x7'-0 FLWD. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 01, 4/A10.1	SET 04	CECO DOOR & FRAME			
120	120	STORAGE		3'-0x7'-0 FLWD. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 01, 4/A10.1	SET 07	CECO DOOR & FRAME			
121	121	IT		3'-0x7'-0 H. MTL. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 01, 4/A10.1	SET 07	CECO DOOR & FRAME			
122	122	CORRIDOR		3'-0x7'-0 FLWD. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 01, 4/A10.1	SET 06	CECO DOOR & FRAME			
123	123	CORRIDOR		3'-0x7'-0 FLWD. A.1, 2/A10.1	H. MTL. M.1, 3/A10.1	SET 01, 4/A10.1	SET 06	CECO DOOR & FRAME			

NOTES:

1. PROVIDE 1/4" TEMPERED GLASS GLAZING PER CODE REQUIREMENTS.
2. PROVIDE GALVANIZED METAL FRAMES AND DOOR SLABS IF INDICATED IN ALL WET LOCATIONS.
3. DELIVER CYLINDERS TO OWNER FOR KEYING PRIOR TO INSTALLATION.

DOOR HARDWARE SCHEDULE						
NO.	ITEM	TYPE	QTY	MANUF.	FINISH	REMARKS
SET 01	HINGES	4.5"x4.5" BALL BEARING	3	HAGER	BHMA 626	
	EXIT DEVICE	9927-TL	1	VON DUHRN	BHMA 626	
	LOCK	PRIMUS XP 6-PIN CYLINDER	1	SCHLAGE	BHMA 626	KEY WAY TO MATCH OWNER'S KEY SYSTEM
	CLOSER	4040 SURFACE CLOSER	1	LCH	BHMA 626	PUSH SIDE MOUNT, ALUMINUM COVER
	KICKPLATES	KT050-B4E-CSK	2	ROCKWOOD	BHMA 626	
	THRESHOLD	#1715 1/2"x3/8" ALUMINUM	1	ROCKWOOD	ALUM. MILL GREY	
SET 02	WEATHERSTRIP	POLYMERIC BULB	1	SET		
		TRACKS & DOOR SEALS PROVIDED BY DOOR MANUFACTURER				
SET 02	OPERATOR	LOGIC 5	1	LIFT MASTER		PROVIDE CAR DEALER MODE & CO2 SENSOR
SET 03	OPERATOR	LOGIC 5	1	LIFT MASTER		
SET 04	HINGES	4.5"x4.5" BALL BEARING	3	HAGER	BHMA 626	
	LATCH SET	LB050 (ANSI F04 OFFICE)	1	SCHLAGE	BHMA 626	W/ L07 LEVER TRIM & B ROSE
	LOCK	PRIMUS XP 6-PIN CYLINDER	1	SCHLAGE	BHMA 626	KEY WAY TO MATCH OWNER'S KEY SYSTEM
	CLOSER	4040 SURFACE CLOSER	5	LCH	BHMA 626	FULL SIDE MOUNT, ALUMINUM COVER
	WALL STOP	W5406CVX	1	IVES	BHMA 630	
	KICKPLATES	KT050-B4E-CSK	2	ROCKWOOD	BHMA 626	
SET 05	HINGES	4.5"x4.5" BALL BEARING	3	HAGER	BHMA 626	
	PUSH / PULL	1076738/73BL	1	SET	ROCKWOOD	BHMA 626
	DEAD BOLT	15460 (ANSI F17)	1	SCHLAGE	BHMA 626	THUMB TURN ON ROOM SIDE
	LOCK	PRIMUS XP 6-PIN CYLINDER	1	SCHLAGE	BHMA 626	KEY WAY TO MATCH OWNER'S KEY SYSTEM
	CLOSER	4040 SURFACE CLOSER	5	LCH	BHMA 626	FULL SIDE MOUNT, ALUMINUM COVER
	WALL STOP	W5406CVX	1	IVES	BHMA 630	
SET 05	KICKPLATES	KT050-B4E-CSK	2	ROCKWOOD	BHMA 626	
SET 06	HINGES	4.5"x4.5" BALL BEARING	3	HAGER	BHMA 626	
	LATCH SET	LB010 (ANSI F01 PASSAGE)	1	SCHLAGE	BHMA 626	W/ L07 LEVER TRIM & B ROSE
	CLOSER	4040 SURFACE CLOSER	1	LCH	BHMA 626	FULL SIDE MOUNT, ALUMINUM COVER
	OVERHEAD STOP	1033	2	GLYNN-JOHNS	BHMA 626	
	KICKPLATES	KT050-B4E-CSK	2	ROCKWOOD	BHMA 626	
SET 07	HINGES	4.5"x4.5" BALL BEARING	3	HAGER	BHMA 626	
	LATCH SET	LB000 (ANSI F07 STORAGE)	1	SCHLAGE	BHMA 626	W/ L07 LEVER TRIM & B ROSE
	LOCK	PRIMUS XP 6-PIN CYLINDER	1	SCHLAGE	BHMA 626	KEY WAY TO MATCH OWNER'S KEY SYSTEM
	WALL STOP	W5406CVX	1	IVES	BHMA 630	
	KICKPLATES	KT050-B4E-CSK	2	ROCKWOOD	BHMA 626	
NOTES:						
1. HINGES BY DOOR MANUFACTURER FOR PRE-HUNG DOORS & ALUM. STOREFRONT DOORS						
2. KEY WAY TO MATCH OWNER'S EXISTING KEYING SYSTEM						

The petitioner's filing of this application for a variance is not to be construed as or implied to be an admission by the petitioner that the variances requested herein are required under the terms of the City of Valparaiso Unified Development Ordinance. Accordingly, the petitioner files this application for a variance under a reservation of rights, and no election of remedies or a waiver of any of the petitioner's rights or remedies shall be construed or implied by the filing of this application.

Petition #: VAK19-002

**PETITION TO
VALPARAISO BOARD OF ZONING APPEALS**

The Petition shall be filed in duplicate with the City Clerk-Treasurer a minimum of 25 days prior to the date of the next Board of Zoning Appeals ("BZA") meeting. The BZA meets every third Tuesday of the month at 7:00 PM in City Hall, 166 Lincolnway, Valparaiso. The Petitioner and/or his/her representative must be present at the public hearing. The filing fee must be paid to the City Clerk-Treasurer upon filing a complete Petition. Please submit nine (9) copies of this petition.

PLEASE COMPLETE THE FOLLOWING:

The undersigned Petitioner and owner(s) of real estate, identified within this application as property within the jurisdiction of the City, respectfully petition the Board of Zoning Appeals to consider;

- ☐ 1. Relief to an Administrative decision. (Exhibit No. ☐)
- ☒ 2. Variance(s) from the development standards.
- ☐ 3. Variance of the use from the terms of the Zoning Ordinances.
- ☐ 4. Petition for Special Exception.
- ☐ 5. Special Exception from Home Occupation.
- ☐ 6. Conditional Use.

FILED

JAN 25 2019

Sharon Emmons
Clerk-Treasurer

In support of an application for **Variance(s) from the Development Standards**, the Petitioner states that the granting of such request:

- ☒ Will not be injurious to the health, safety, morals, and general welfare of the community;
- ☒ Will not affect the use and value of the area adjacent to the property included in the variance in a substantially adverse manner; and arise from practical difficulties in the use of the property in conformity with the Zoning Ordinance.
- ☒ Petitioner will comply with all ordinance parking requirements.

In support of an application for a **Use Variance**, the Petitioner states that the granting of such request:

- ☐ Will not be injurious to the health, safety, morals, and general welfare of the community;
- ☐ Will not affect the use and value of the area adjacent to the property included in the variance in a substantially adverse manner; and arise from practical difficulties in the use of the property in conformity with the Zoning Ordinance.
- ☐ Arise from a condition peculiar to the property;

- ___ Arises from unnecessary hardships if the Zoning Ordinance is strictly applied; and
- ___ Does not interfere substantially with the Comprehensive Plan adopted.
- ___ Petitioner will comply with all ordinance parking requirements.

In Support of an application for **Special Exception**, the Petitioner states that the granting of such request:

- ___ Will not generate excessive vehicular traffic on minor residential streets;
- ___ Will not create vehicular parking or traffic problems;
- ___ Appropriate access roads, drives, utilities, drainage, facilities, and other necessary facilities have been or will be installed;
- ___ Will make a substantial contribution to the neighborhood environment and will not infringe on the rights of properties in the vicinity of the expected use;
- ___ Will comply with the requirements of the district in which proposed use is to be located.
- ___ Petitioner will comply with all ordinance parking requirements.

In support of such application for **Special Exception for Home Occupation**, Petitioner states:

- ___ That no person other than members of the family residing on the premises will be engaged in the home occupation.
- ___ That the use of the dwelling unit for home occupation will be clearly incidental and subordinate to its use for residential purposes and not more than 25% of the floor area of the dwelling will be used in the conduct of the home occupation.
- ___ That there will be no change in the outside appearance of the building or premises, or other visible evidence of the conduct of such home occupation, other than one sign-such sign not exceeding two square feet in area, non-illuminated and containing only the name and nature of the business.
- ___ That no home occupation will be conducted in any accessory building.
- ___ That there will be no sales area unless specifically permitted by the BZA.
- ___ That no traffic will be generated by such home occupation in greater volume than would normally be expected in a residential neighborhood and any need for parking generated by the conduct of such home occupation will be met by required or permitted parking spaces, and will not be in the front yard.
- ___ That no equipment or process will be used which creates noise, vibration, glare, fumes, odors, or electrical interference detectable to the normal senses which can be detected off premises.

PETITIONER: Donald R. Huff Patricia A. Huff	c/o Todd A. Leeth Hoepfner Wagner & Evans LLP 103 E. Lincolnway Valparaiso, Indiana 46383	219-464-4961
Name (Please Print)	Address	Phone

OWNER OF SUBJECT PROPERTY:

Same as Petitioner		
Name (Please Print)	Address	Phone

ADDRESS OF SUBJECT PROPERTY: 818 Jefferson Street
 Subject property fronts on the North side between (streets) Garfield Street and Roosevelt
 in the _____ Zoning District.
 NC-60 Neighborhood Conservation District South

Legal Description of Subject Property: (Exhibit No.____)

See Attached

**DESCRIPTION OF PROPOSED PROJECT INCLUDING, NEW CONSTRUCTION,
ADDITION, ALTERATION, OR CHANGE OF USE:** (Exhibit No. __)

To allow for one (1) accessory unit without meeting 3.501 C1, C2, C3 and to allow a total of
three (3) parking spaces in place of the required four (4) spaces.

Section (3) of the Zoning Ordinance from which a Variance, Special Exception, or
Administrative Relief is sought:

Article: 3 Section: 3.501 Paragraph: C Item: 1, 2, 3; Parking Table 9.201

: _____ : _____ : _____ : _____
: _____ : _____ : _____ : _____

Attach a Site Plot Plan drawn to scale showing:

- a. scale
- b. lot: shape, location, dimension, and area
- c. existing improvements on the lot (including, structures, sidewalks, & driveways)
and the percent coverage of improvements on the lot
- d. distance for lot lines, right-of-way lines, or easements to any structure for: front,
back and side yards

Please fill in:

Front Setback _____ Rear Setback _____ Side Setbacks _____ / _____ Lot Coverage _____
Height _____

The powers and duties of the Board of Zoning Appeals are provided for and limited by Enabling Acts in Indiana Code 36-7-4-900 et. eq.. The public hearing procedures are similar to a courtroom hearing. Although it is not required that the Petitioner represented by legal counsel, information and documentation pertaining to the petitioner should be prepared as if it were to become part of a court hearing. **Although the office of the City Planner is available to assist the Petitioner, it is the Petitioner's responsibility to request and prepare the appropriate variance petition.** The Planning Department can be contacted Monday-Friday between 8:30 – 4:30 at (219) 462-1161.

Petitions will not be scheduled for public hearing unless all legal and procedural requirements have been met.

Last updated 1/16/18

STAFF USE ONLY

Date Received _____

- ____ Names and Addresses of property owners within 300 feet provided
- ____ Signature notarized
- ____ Site Plan attached
- ____ Legal Description (Not Abbreviated) Provided
- ____ Petition Filed Complete
- ____ Written Description of Project
- ____ Petitioners Affidavit of Notice
- ____ Findings of Fact
- ____ Photo's of Property (Staff Request)
- ____ Landscape Plan (Staff Request)

Date approved for Public Hearing _____, _____

BZA Application Fees

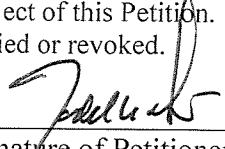
____ Use Variance	\$200
<u>X</u> Single Family Development Standards Variance	\$50
____ Commercial Development Standards Variance	\$150
____ Special Exception/Special Use	\$200
____ Relief to an Administrative Decision	\$200
____ Special Meeting	\$1000
____ Conditional Use	\$100
____ Wireless Communications Facility Special Use – Major	\$500
____ Wireless Communications Facility RF Tech Study Fee	\$ Actual cost of study

TOTAL FEE \$50.00

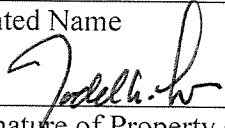
Certificate of Petitioner

Please read and sign the following statement:

I, the Petitioner (and Property Owner, if separate), understand that I and/or my representative must be present at the public hearing. Should I fail to appear, the BZA, in my absence, may consider and take action on my Petition. If the Petitioner is not the owner of the property that is the basis of this Petition, the signature of the Property Owner(s) constitutes authorization for the Petitioner to speak and act on behalf of the Property Owner(s). The Petitioner certifies that neither the Petitioner nor any attachments or exhibits submitted contains any known intentional misrepresentations or intentionally misleading statements. All information submitted is accurate, true and correct to the best of the Petitioner's knowledge. The providing of false and/or inaccurate information on this Petition or during any proceedings before the BZA may result in the denial of the request or the revocation of the request, should a Petition be granted. Similarly, if as part of any granted Petition, the BZA places any restrictions and/or limitations, I acknowledge that my failure to comply with such restrictions/limitations shall be grounds to revoke any granted Petition. The Petitioner acknowledges that it bears the obligation to mail notice of any Public Hearing to all property owners within 300 feet of the property that is the subject of this Petition. Any errors by the Petitioner may result in the Petition being delayed, denied or revoked.


Signature of Petitioner

Todd A. Leeth, Attorney for Petitioner
Printed Name


Signature of Property Owner

Todd A. Leeth, Attorney for Owner

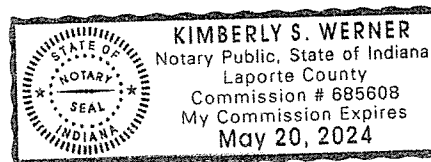
Signature of Property Owner

Subscribed and sworn to before me, a Notary in and for said County and State, personally appeared: Todd A. Leeth, and acknowledge the execution of the foregoing document, this 25th day of January 2019.


NOTARY PUBLIC

My Commission Expires: _____
Resident of _____ County

Kimberly S. Werner
Type or Print name of Notary



Lake County Tr Co Tr#5388
819 Jefferson St
Valparaiso IN 46383

David A Siegrist
906 Chicago St
Valparaiso IN 46383

Bertig Rentals Llc
121 Lincolnway
Valparaiso IN 46383

Amy K Kirby
820 Jefferson St
Valparaiso IN 46383

Laura Kalman
903 Jefferson St
Valparaiso IN 46383

William Joseph & Sara Eli Obermeyer
813 Jefferson St
Valparaiso IN 46383

David M & Judith S Hull
900 Jefferson St
Valparaiso IN 46383

Justin & Jill Steiner
910 Chicago St
Valparaiso IN 46383

Elizabeth Laurel Bruks
816 Jefferson St
Valparaiso IN 46383

Valparaiso City of
166 Lincolnway
Valparaiso IN 46383

Steven M & Cheryl E Sallee
901 Jefferson St
Valparaiso IN 46383

Jacquelyn L Cutright
812 Chicago St
Valparaiso IN 46383

Bruce Harmon
902 Jefferson St
Valparaiso IN 46383

GLM LLC
212 Lincolnway
Valparaiso IN 46383

Marsha L Henson
1002 Chicago St
Valparaiso IN 46383

Lutheran University Association Inc
1700 Chapel Dr
Valparaiso IN 46383

Michael A Tuthill
1125 Calumet Ave
Valparaiso IN 46383

Thomas J & Kathleen M Underwood
811 Jefferson St
Valparaiso IN 46383

Donna & Stotts Walter Stotts
657 W 50 N
Valparaiso IN 46385

Irene C Gasparis
301 S Main St
Crown Point IN 46307

Alex & Brady Annamarie Schoenfelt
902 Chicago St
Valparaiso IN 46383

Julie A Krause
814 Jefferson St
Valparaiso IN 46383

James R & Dennac Fyock
812 Jefferson St
Valparaiso IN 46383

Joseph M DeCenzo
12 S 66 E
Valparaiso IN 46383

Faith Ann Dooge
807 Jefferson St
Valparaiso IN 46383

Nicole Zahm
810 Chicago St
Valparaiso IN 46383

F & K Enterprises Llp
808 Lincolnway
Valparaiso IN 46383

Stephany & James Eckenrode
808 Jefferson St
Valparaiso IN 46383

Patricia Nisley
905 Jefferson St
Valparaiso IN 46383

Karla & Jesus Ramos
904 Chicago St
Valparaiso IN 46383

Anthony & Victoria Krupinski
821 Jefferson St
Valparaiso IN 46383

Uptown Valpo Ventures LLC
5209 Garden Gtwy
Valparaiso IN 46383

Anthony W & Kathleen A Hahn
809 Jefferson St
Valparaiso IN 46383

Fryschwerd Properties LLC
825 E Lincolnway
Valparaiso IN 46385

Shirley A Boezeman
906 Jefferson St
Valparaiso IN 46383

Woodson James Adam Revocabl
Dresden
PO Box 501
Valparaiso IN 46384

Virginia L & Donald P Mims
908 Chicago St
Valparaiso IN 46383

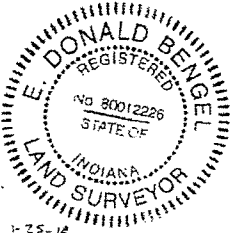
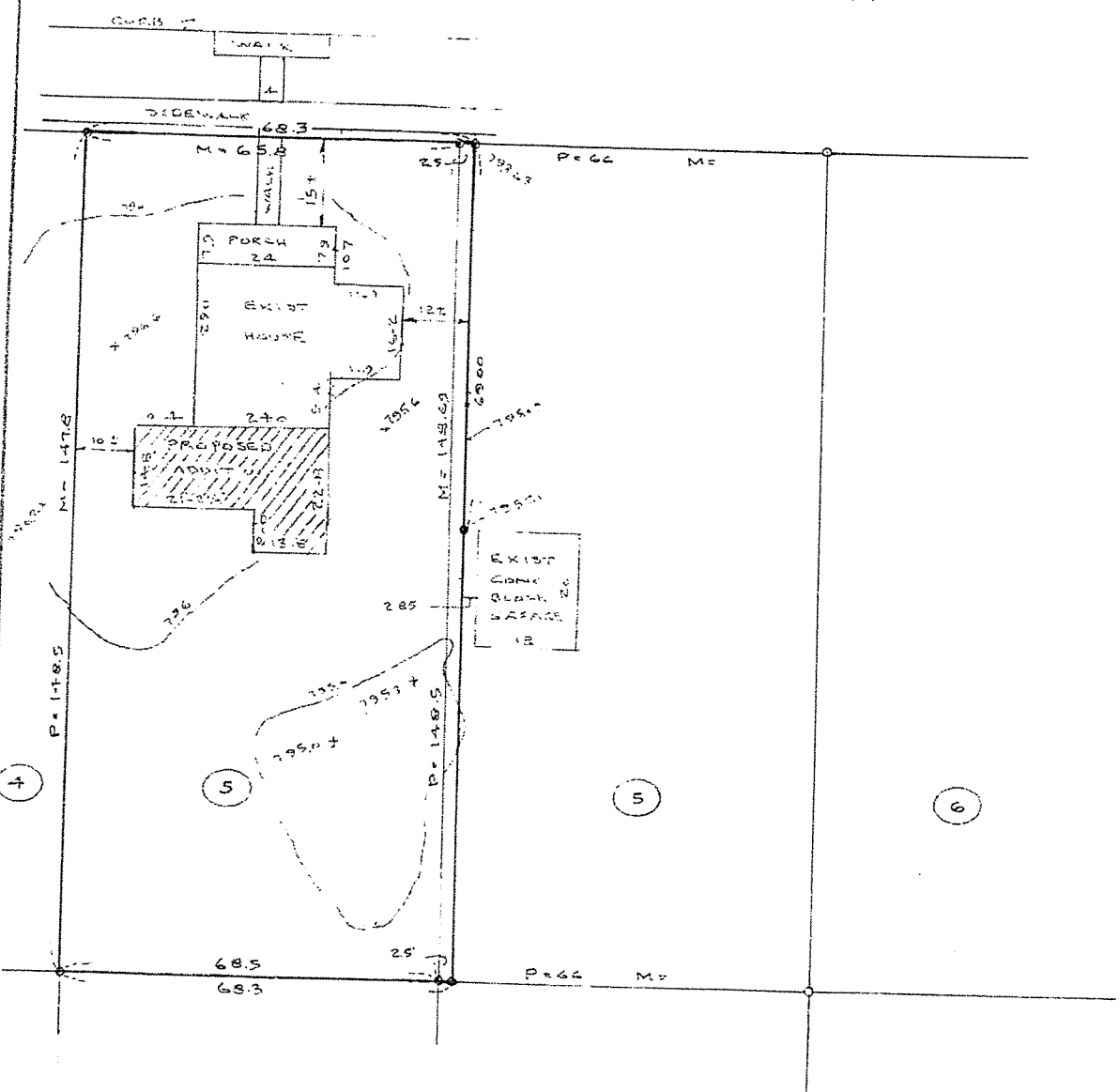
SITE PLAN

FOR

DONALD R. & PATRICIA A HUFF

LEGAL DESCRIPTION: The West Half of the North Half of Lot 5 in Brown's Unrecorded Subdivision of Council's Lot 8 and a 1 Rod Strip North of above and The West 2 5 feet of the North Half of the East Half of Lot 5 in Brown's Outlots of Council's Addition of Block 8, as described in Document No. 2011-013470 recorded in the Office of the Recorder of Porter County Indiana. NOTE: Said Document is in error as to the Point of Commencement. This survey and description is based upon Legal Survey of 818, 820 and 822 E. Jefferson Street by William E. Morthland dated July 27, 1950 which is in agreement with other surveys performed in Brown's Outlots. PROPERTY ADDRESS: 818 E. Jefferson Street Valparaiso, Indiana. 46383

JEFFERSON STREET - 66' R/W



BENGEL ENGINEERING & SURVEYING PROFESSIONAL ENGINEER - LAND SURVEYOR		
SCALE: 1" = 20'	APPROVED BY: DON & PAT HUFF	DRAWN BY: EOB
JAN 25, 2018		FR 143 P 10
73 EAST DIVISION ROAD (219) 462-0690 VALPARAISO, INDIANA 46383		
SITE PLAN FOR BUILDING ADD 818 E JEFFERSON STREET VALPARAISO, INDIANA 46383		PROJECT NUMBER 18-0 PLAT FILE 1834

**CITY OF VALPARAISO
BOARD OF ZONING APPEALS**

PETITIONER'S PROPOSED FINDINGS OF FACT

Petitioner: Donald R. Huff and Patricia A. Huff

Legal Description: The West Half of the North Half of Lot 5 in Brown's Unrecorded Subdivision of Council's Lot 8 and a 1 Rod Strip North of above and the West 2.5 feet of the North Half of the East Half of Lot 5 in Brown's Outlots of Council's Addition of Block 8 as described in Document No. 2011-013470 recorded in the Office of the Recorder of Porter County, Indiana.

Location: 818 Jefferson Street, Valparaiso Indiana

Current Zoning: NC-60 Neighborhood Conservation District

Petition: Development Standards Variances:

1. Accessory Unit §3.501C

Variance to omit the following:

Accessory units may be constructed as follows:

1. At the time of preliminary subdivision, the applicant shall identify the subdivision as being one that will use accessory units. This provides an opportunity to review the entire plan on the basis of having two units per lot. A note shall be on the plat and all lot plans indicating that the subdivision permits accessory apartments.
2. The plan shall provide a means of protecting adjoining residential uses or residentially zoned land from any impacts of the additional density and design of the unit. Increased bufferyard opacity, landscaping, setbacks from the adjoining homes, or prohibiting the lots that abut the site boundary from having the accessory units are techniques that may be required (See Article 10, Landscaping).
3. No accessory unit shall consist of more than 20 percent of the total residential floor area. No accessory unit shall have more than one bedroom or bathroom.

2. Parking Table 9.201

Code: Single Family Attached – 2 spaces per dwelling unit (total of 4 required).

Available: 3 spaces

The above named Petitioner now makes the proposed Findings of Fact in support of Petitioner's petition for a development standards variances to allow a residential Accessory Unit without meeting the requirements of certain subsections of Sec. 3.501C set forth above and found in the Unified Development Ordinance. After conducting a public hearing pursuant to I.C. 37-7-4-920 *et seq.* and the Unified Development Ordinance, and after hearing Petitioner's arguments and evidence in support of the variance, remonstrance and opposition or the opportunity for the receipt thereof, and comments, reports or recommendations of staff and others, the Board of Zoning Appeals for the City of Valparaiso, Indiana now finds as follows:

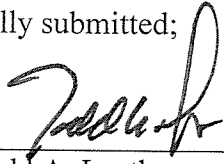
FINDINGS:

1. The grant will not be injurious to the public health, safety, morals, and general welfare of the community because:
 - a) The proposed multi-family use is allowable under the UDO, only the fact that the proposed new building contains more than four (4) units requires the use variance.
 - b) The Petitioners have invested significant money and resources to renovate and improve the subject property and enhance attractive architectural features.
 - c) The granting of the variance will not alter the essential character of the locality because for the immediate future the same four family members will reside in the home with two separate units, but with no outward appearance of a change in status of the home.
 - d) The Petitioner currently parks multiple cars on the available public street.
 - e) The variance will not adversely affect the aesthetic appeal or the cohesive development of the surrounding area as there are other multi-family homes in close proximity and the southern property adjoining the subject property is a large parking lot fronting on Lincolnway and zoned General Commercial (CG) District.
2. The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner because:
 - a) The granting of the variance will in no recognizable way encroach on the enjoyment or use of the surrounding properties; therefore, bufferyards are not necessary to screen two residential uses.
 - b) The granting of the variance will secure or preserve adequate light, air, convenience of access, and safety from fire and other dangers.

- c) There will be no substantial change in the use of the property that will result if the variance is granted.
 - d) UDO Sec. 1.304F allows a bufferyard to otherwise be omitted when the intensity, use and character of a development does not materially and abruptly change from one side of the boundary to the other. The Petitioner's change in use does not materially and abruptly change a use from one property to another.
3. The strict application of the terms of the Zoning Ordinance will result in practical difficulties because:
- a) The units within the proposed building are equally distributed and balanced. The immediate need for the separate Accessory Unit is for the Petitioner's two adult daughters to share the home with privacy expected of an adult.
 - b) It is not possible to fully comply with the ordinance. Compliance with the ordinance is impossible because the subdivision and home was built would require significant reduction in the number of units thereby reducing return on investment and the Petitioner would suffer significant economic injuries to comply with the ordinance.
 - c) It is not economically feasible to add one additional parking space to Petitioner's lot when the existing spaces will be avoided in favor of street parking by occupants of the home who choose street parking due to the inconvenience of jockeying cars in the single lane driveway.
 - d) The circumstances and conditions existing on or about Petitioner's property which prevent conformance with the Unified Development Ordinance and requiring the variances are not self-created.

Respectfully submitted;

By: _____


Todd A. Leeth
Hoepfner Wagner & Evans LLP
103 E. Lincolnway
Valparaiso, Indiana 46383

Attorneys for Petitioner

Affidavit of Consent of Property Owner

(To be presented with application for Board of Zoning Appeals)

Todd A. Leeth, being dully sworn upon his/~~her~~ oath, being of sound mind and legal age deposes and states:

1. That Donald Huff and Patricia Huff ("Owner") (~~is~~are) the legal owner(s) of real property that is the subject of a Petition before the BZA.
2. That Owner authorizes Donald Huff and Patricia Huff ("Petitioner") to seek the relief sought in the Petition filed before the BZA. Petitioner is further authorized to commit to any reasonable restriction requested by the BZA or proposed by the Petitioner.

Todd A. Leeth
Property Owner
Todd A. Leeth, Attorney for Owner

1/25/19
Date

Property Owner

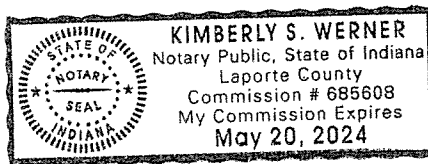
Date

Subscribed and sworn to before me this 25th day of January, 20 19.

Kimberly S. Werner
Notary Public

My Commission:

Date



LEGAL DESCRIPTION

The West Half of the North Half of Lot 5 in Brown's Unrecorded Subdivision of Council's Lot 8 and a 1 Rod Strip North of above and the West 2.5 feet of the North Half of the East Half of Lot 5 in Brown's Outlots of Council's Addition of Block 8 as described in Document No. 2011-013470 recorded in the Office of the Recorder of Porter County, Indiana.